



To: Members of the Board of Adjustment, Applicants & Neighboring Property Owners  
From: Jonathan B. Kanipe, Town Manager  
Date: January 11, 2021  
Re: **Board of Adjustment Meeting – January 25, 2021**

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## Applicants:

You or a representative **MUST** attend the Zoom meeting in order to have the matter considered.

Members of the Board of Adjustment & staff may visit each property prior to the meeting. If this occurs, the property owner will be notified beforehand and asked if they approve the visit. If so, the visit will be conducted in a socially distant manner consistent with North Carolina state orders related to preventing the spread of Covid-19.

## Neighbors:

You are receiving this notice because your property is adjacent to an applicant on this month's agenda.

You may review applications & plans for the projects on this agenda at <http://www.biltmoreforest.org/board-of-adjustments>.

You are invited to attend the scheduled meeting via Zoom and make comment when called upon. Any additional information regarding the Zoom meeting will be provided on the Town's website no later than January 19, 2021.

**The following items of business are scheduled to be addressed by the Biltmore Forest Board of Adjustment on Monday, January 25, 2021 at 4:00 pm in the Town Hall Board Room via Zoom. The format for the meeting and instructions for attending the meeting via Zoom can be found on the second page of this agenda. The link for the Zoom meeting can be found at the bottom of the second page.**

1. The meeting will be called to order and roll call taken.
2. The minutes of the December 14, 2020 regular meeting will be considered.
3. Hearing of Cases (Evidentiary Hearings, Deliberations & Determinations).

Case 1: **24 Busbee Road** – A variance is requested for the installation of a driveway in the side setback in conjunction with the construction of a new residence. A landscaping plan is included for review and consideration by the Board of Adjustment.

4. Adjourn

### **Process and Procedure for January 25, 2021 Board of Adjustment Meeting held on Zoom**

- All participants attending will be held in the “waiting room” prior to admittance by Town staff. Once admitted into the meeting, please mute audio until called upon by the Board chair.
- The meeting will be called to order at 4:00 p.m. by the Chair. All interested parties and applicants will be virtually sworn-in at this time.
- Each matter will be called forward and Town staff will authorize video and audio for the applicants and any person with standing for that particular case. If an applicant would like to present visual evidence, they must provide this evidence to Town staff no later than Friday, January 22, 2021.
- The Board chair, or other Board of Adjustment member, will specifically ask questions to the applicant and ask for any evidence that they would like to present.
- The Board chair, or other Board of Adjustment member, will then specifically ask for any person with standing for that specific matter to provide comment. Town staff will moderate this comment period but will ensure each person who wishes to speak or provide evidence is able to do so.
- When all evidence and testimony has been provided, the Board will deliberate and render a decision, then move on to the next matter where the process will be repeated.

### **How to Access the January 25, 2021 Board of Adjustment Meeting via Zoom**

In order to access the Board of Adjustment meeting, please visit <http://zoom.us> to sign up, for free, for a Zoom account. This will enable you to participate with your desktop or laptop computer as you see fit. The Zoom link and log-in credentials are at the bottom of this page.

You may also download the free Zoom app from the Apple Store or Google Play on your mobile iOS or Android device. This app will walk you through setting up a free account.

If you are unable to access the meeting through a web or app based format, but would still like to listen and participate in the meeting, you may do so by calling one of the phone numbers listed below and entering the meeting ID and password.

<https://us02web.zoom.us/j/81083058295?pwd=Y2poN0FxUlhVcXAvcXVvL3M3T0tOdz09> Meeting ID:

810 8305 8295

Passcode: 518954

Find your local number: <https://us02web.zoom.us/j/81083058295?pwd=Y2poN0FxUlhVcXAvcXVvL3M3T0tOdz09>

MINUTES OF THE BOARD OF ADJUSTMENT MEETING  
HELD MONDAY, DECEMBER 14, 2020

The Board of Adjustment met at 4:00 p.m. on Monday, December 14, 2020. The meeting was held virtually via Zoom.

Members present: Mr. Greg Goosmann, Ms. Rhoda Groce, Ms. Lynn Kieffer, Mr. Robert Chandler, and Mr. Lowell Pearlman. Ms. Martha Barnes, alternate member, was also present. Mr. Jonathan Kanipe, Town Manager, Mr. Harry Buckner, Public Works Director, and Mr. William Clarke, Town Attorney were also present.

Chairman Greg Goosmann called the meeting to order at 4:00 p.m.

Mr. Goosmann swore in the following:

Mr. Jonathan Kanipe  
Mr. Harry Buckner  
Mr. Ryan Cecil  
Ms. Rebecca Cecil  
Mr. Brad Fuhrman  
Mr. Scott Alexander  
Ms. Jenny Whitt  
Mr. Raymond Russell  
Ms. Elizabeth Russell  
Mr. Clay Mooney  
Mr. Joshua Shores  
Ms. Mary Tepper

A motion was made by Ms. Lynn Kieffer to approve the minutes from November 16, 2020. Ms. Rhoda Groce seconded the motion and was unanimously approved. Roll call was taken.

HEARING (Evidentiary):

A Special Use Permit was requested for the installation of a playset in the rear yard. Ms. Martha Barnes shepherded the matter. The approximate square footage is 2,500. The playhouse is custom made. The playhouse is out of view so the neighbors will not be able to see it. Mr. Cecil agreed to buffer the playhouse if needed. It is located on the Northwest section of the house and should not be visible to any neighbor. There were no further questions or comments.

DELIBERATION AND DETERMINATION:

Ms. Barnes recited the facts. Mr. Ryan and Rebecca Cecil at 7 Frith are requesting to build an accessory structure that is a playground for their children. The playground is not within a setback. It would not be visible to any adjoining property. There is also no issue with impervious surfaces. The playhouse will also keep within the same design as the house. No neighboring property owner has objected.

Ms. Rhoda Groce moved that a Special Use Permit be granted to Ryan and Rebecca Cecil of 7 Frith Drive for the installation of a playset in the rear yard and the facts as recited by Martha Barnes and her summation be accepted as findings and facts to support this grant. The Board has inspected this site and no neighboring property owner has objected. Ms. Groce further moved the Board define that granting this Special Use Permit (a) would not materially endanger the public health or safety if located where proposed and developed according to the plans as submitted and improved, (b) met all required conditions and specifications of the Town of Biltmore Forest Zoning ordinance, (c) would not substantially injure the value of adjoining or abutting property, and (d) would be in general conformity with the plan of development of the Town of Biltmore Forest and its environs as set forth in Sections 153.110 (C)(2-3)of the above ordinance. The applicant has been informed that he/she is to report to the Zoning Administrator within seven (7) days of completion of the project in order that the Zoning Administrator can determine that the project has been completed in accordance with plans submitted to the Town.

Mr. Pearlman seconded the motion. A roll call vote was taken, and the motion was unanimously approved.

HEARING (Evidentiary):

A Special Use Permit is requested for the installation of roof mounted solar collectors at 1345 Hendersonville Road at Carolina Day School. Mr. Lowell Pearlman shepherded the matter. There will be two roof mounted solar array systems installed. This will be similar to the solar installation of the upper school that occurred a few years ago. It will be 100 kilowatts for each installation. It will generate enough power to generate 55% of each facility. Mr. Robert Chandler asked if the sun would reflect on other homes. Mr. Scott Alexander from Eagle Solar said it would be flat so neighboring property owners cannot see the panels. On the lower school, the panels can be seen but only from another part of the school. It would not be visible to a neighboring property owner. It is non-reflective material and the panels will be black. The panels are all identical. It is the same material as the upper school installation. There were no further comments regarding the project.

DELIBERATION AND DETERMINATION:

Mr. Pearlman recited the facts and said a Special Use Permit is requested by Carolina Day School for installation of two 100-kilowatt solar array systems. There have been no objections by neighboring property owners.

Ms. Kieffer moved that a motion be made to grant a Special Use Permit to Carolina Day School at 1345 Hendersonville Road for installation of two 100-kilowatt solar array systems and the facts as recited by Lowell Pearlman and his summation be accepted as findings and facts to support this grant. The Board has inspected this site and no neighboring property owner has objected. Ms. Kieffer further moved the Board define that granting this Special Use Permit (a) would not materially endanger the public health or safety if located where proposed and developed according to the plans as submitted and improved, (b) met all required conditions and specifications of the Town of Biltmore Forest Zoning ordinance, (c) would not substantially injure the value of adjoining or abutting property, and (d) would be in general conformity with the plan of development of the Town of Biltmore Forest and its environs as set forth in Sections 153.110 (C)(2-3) of the above ordinance. The applicant has been informed that he/she is to report to the Zoning Administrator within seven (7) days of completion of the project in order that the Zoning

Administrator can determine that the project has been completed in accordance with plans submitted to the Town.

Ms. Martha Barnes seconded the motion. Roll call was taken by Chairman Goosmann and the motion was unanimously approved by all members.

HEARING (Evidentiary):

A variance is requested for the reconstruction of a detached accessory building within the side yard setback at 307 Vanderbilt Road. The matter was shepherded by Mr. Robert Chandler. An existing storage building was located on the concrete pad and has deteriorated and in need of replacement. Ms. Russell said the dimensions are 16' long and 8' wide. The height is 12' on one side and 10' on the other side. Mr. Russell said no neighbors object to the project. Mr. Clarke suggested the Board review the project based on the easement from an earlier property survey and the fact it is on the property line. It is also very visible from the neighbor's house. The Russells said they would be willing to buffer the area so it is not visible. The easement has been received and it will be reviewed after the meeting is conducted.

DELIBERATION AND DETERMINATION:

Mr. Robert Chandler recited the facts and said Mr. Ray and Elizabeth Russell of 307 Vanderbilt Road are requesting a variance for reconstruction of a detached accessory building within the side yard setback. They will use the existing concrete pad. They also have to make sure it is not on their neighbor's property and get the proper legal paperwork to allow this. They will also be working with neighbors' for additional buffering if it needs to be planted. They are applying for a Special Use and a Variance. There were no additional facts or comments.

Ms. Martha Barnes made a motion to approve a Special Use Permit and Variance and that it be granted to Mr. Ray and Elizabeth Russell of 307 Vanderbilt Road with the condition that the Town Attorney review the easement for compliance before the permit is valid. This is for reconstruction of a detached accessory building which is a storage shed and for a Variance of the

accessory structure and the facts as recited by Robert Chandler and his summation be accepted as findings and facts to support this grant. The Board has inspected this site and no neighboring property owner has objected. Ms. Barnes further moved the Board define that granting this Special Use Permit (a) would not materially endanger the public health or safety if located where proposed and developed according to the plans as submitted and improved, (b) met all required conditions and specifications of the Town of Biltmore Forest Zoning ordinance, (c) would not substantially injure the value of adjoining or abutting property, and (d) would be in general conformity with the plan of development of the Town of Biltmore Forest and its environs as set forth in Sections 153.110 (C)(2-3) of the above ordinance. The applicant has been informed that he/she is to report to the Zoning Administrator within seven (7) days of completion of the project in order that the Zoning Administrator can determine that the project has been completed in accordance with plans submitted to the Town.

Ms. Barnes further moved that granting this Variance satisfies the applicable Sections of 153.110(D) and paragraphs one through four, and would not be contrary to the public interest where, owing to special conditions, a literal enforcement of the provisions of this Ordinance would, in this case, result in a practical difficulty or unnecessary hardship. She further moved the Board to find the spirit of the ordinance would be observed, public safety and welfare secured and substantial justice done. The applicant has been informed that he/she is to report to the Zoning Administrator within seven (7) days of completion of the project in order that the Zoning Administrator can determine that the project has been completed in accordance with plans submitted to the Town. The Town Attorney, Mr. Billy Clarke, will review this Variance. Ms. Kieffer, Mr. Chandler, Ms. Barnes, Mr. Pearlman, and Ms. Rhoda Groce seconded the motion contingent upon the review of the easement.

HEARING (Evidentiary):

A Special Use Permit is requested at 26 Ridgefield Place for installation of a 12'x12' concrete slab for a hot tub with associated 6' tall privacy fence. Ms. Lynn Kieffer shepherded the matter. Ms. Jenny Whitt said she would like to install a 12'x12' concrete pad where a hot tub will be placed and connect to the existing deck for a privacy fence around the hot tub. The neighbors are aware of the potential project and have no objection.

DELIBERATION AND DETERMINATION:

Ms. Kieffer recited the facts and said Ms. Jenny Whitt would like to install a 12'x12' concrete pad where a hot tub will be placed. Ms. Whitt would also like to install a privacy fence around this area. Mr. Chandler asked if Ms. Whitt would be willing to buffer if needed. Ms. Whitt said yes. There were no further questions or comments.

Mr. Pearlman made a motion to move that a Special Use Permit be granted to Ms. Jenny Whitt at 26 Ridgefield Place for installation of a concrete pad, hot tub, and surrounding fence and the facts as recited by Ms. Lynn Kieffer and her summation be accepted as findings and facts to support this grant. The Board has inspected this site and no neighboring property owner has objected. Mr. Pearlman further moved the Board define that granting this Special Use Permit (a) would not materially endanger the public health or safety if located where proposed and developed according to the plans as submitted and improved, (b) met all required conditions and specifications of the Town of Biltmore Forest Zoning ordinance, (c) would not substantially injure the value of adjoining or abutting property, and (d) would be in general conformity with the plan of development of the Town of Biltmore Forest and its environs as set forth in Sections 153.110 (C)(2-3) of the above ordinance. The applicant has been informed that he/she is to report to the Zoning Administrator within seven (7) days of completion of the project in order that the Zoning Administrator can determine that the project has been completed in accordance with plans submitted to the Town.

Mr. Robert Chandler seconded the motion. A roll call vote was taken and unanimously approved by all board members.

HEARING (Evidentiary):

A variance is requested at 32 Cedarcliff Road to exceed the maximum roof allowance associated with the construction of a new residence. Special use permits are requested for the



installation of a swimming pool and pickleball court (accessory structures) as part of the construction. Ms. Groce shepherded the matter. Mr. Clay Mooney, landscape architect, discussed with Mr. Shores the limited options of the reduced roof area. Mr. Shores and his family decided to move back to North Carolina a few months ago. Mr. Shores thought Biltmore Forest would be a great place to live and thought they would purchase this lot. Mr. Shores thought the builder was familiar with the roof limitations.

Ms. Groce said they have to uphold the ordinance as written and asked Mr. Shores what the hardship is for the variance. Ms. Groce said for new construction, a Variance has not been granted in the past. Mr. Shores asked what the definition of a hardship is. Mr. Clarke said there is a statute. The lot size at 32 Cedarcliff is 2.5 acres and typically, this happens for lot sizes of 1-1.5 acres or less. Other hardships are allowing people to replace existing structures that are in the side and rear yard setbacks. Mr. Clarke said he has been doing this job for approximately eight years and there have been a number of houses torn down in the Town and rebuilt on the property. All of these have complied with the roof limitations.

Mr. Pearlman suggested to Chairman Goosmann to explain the statutory rules to Mr. Shores of withdrawing an application or delaying a motion. Chairman Goosmann told Mr. Shores, in the event a motion is carried out and it fails, then this request cannot be brought back to the Board for one year. Mr. Clarke said the application could be withdrawn or have the board table it, then Mr. Shores could come back with a modified application. As long as the Board takes no action, Mr. Shores can come back every month. Mr. Mooney discussed with Mr. Kanipe about the porte cochere and if it were to become separated from the house, it would be considered an accessory structure. Mr. Mooney asked Mr. Kanipe if that square footage would still be added to the roof area if it were separate. Mr. Kanipe said the maximum roof coverage is defined as the total roof area of all structures.

Ms. Mary Tepper said as a neighbor, what Mr. Shores is proposing would be an improvement of the property. Ms. Rebecca Cecil also agreed that what Mr. Shores is proposing would be a great improvement to the existing property.

Mr. Mooney reiterated the drawings that were submitted reflected a 6.9% overage. Mr. Mooney said this proposal could be reduced down to 4.3%. Mr. Mooney said he might be able to

get it down to 3.5%. Mr. Clarke said the Board is currently considered a proposal with 6.9% overage.

DELIBERATION AND DETERMINATION:

Ms. Rhoda Groce restated the facts and said a Variance has been requested for Mr. Joshua Shores 32 Cedarcliff Road to exceed the maximum roof allowance associated with the construction of a new residence. Special use permits are requested for the installation of a swimming pool and pickleball court (accessory structures) as part of the construction. Chairman Goosmann added that 6.9% additional roof coverage is proposed. Mr. Shores chose to withdrawal the application.

Chairman Goosmann adjourned the meeting at 5:15 pm. The next Board of Adjustment meeting is scheduled for Monday, January 25, 2021 at 4:00 pm.

ATTEST:

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Greg Goosmann  
Chairman

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Laura Jacobs  
Town Clerk

355 Vanderbilt Rd | Biltmore Forest, NC  
Po Box 5352 | Biltmore Forest, NC 28803  
P (828) 274-0824 | F (828) 274-8131  
www.biltmoreforest.org



George F. Goosmann, III, Mayor  
Doris P. Loomis, Mayor-Pro Tem  
Fran G. Cogburn, Commissioner  
E. Glenn Kelly, Commissioner

Jonathan B. Kanipe,  
Town Manager

## MEMORANDUM

To: Board of Adjustment Members  
From: Jonathan Kanipe, Town Manager  
Re: Board of Adjustment Case Number 2 (24 Busbee Road)  
Date: January 20, 2021

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### Variance Request to Extend Driveway into Rear Setback Preliminary Landscaping Plan Approval for New Residence

The applicant requests a variance for the location of the driveway associated with the construction of a new residence at 24 Busbee Road. The new home is on an undeveloped lot and the applicants state that the topography, slope, tree preservation, and neighbor privacy requires them to locate a portion of the driveway in the rear yard setback. The Town's ordinance regarding driveways and setbacks is found within Section 153.007 Dimensional Requirements where the setback from the rear property line is defined as 25 feet. The retaining wall at the rear of the home (in compliance with setbacks) does not require a special use permit since it is considered a portion of the driveway structure itself.

The proposed landscaping plan indicates significant buffering from trees in the area where the driveway encroaches into the rear setback. This buffering plan is included as part of the overall preliminary landscaping plan that is also presented for the Board's review and approval as the site disturbs more than 20 percent of the lot area.

Please let me know if you have additional questions regarding this plan or proposal.

# Zoning Compliance Application

Town of Biltmore Forest

**Name**

Thomas and Theresa Davis

**Property Address**

24 Busbee Road

**Phone**

(828) 775-4643

**Email**

tzdavis38@gmail.com

**Parcel ID/PIN Number**

964770272200000

## ZONING INFORMATION

**Current Zoning**

R-1

**Lot Size**

3 Acres

**Maximum Roof Coverage**

7,500 square feet (Up to 3 acres)

**Proposed Roof Coverage Total**

5340 square feet

**Maximum Impervious Surface Coverage**

3-6 acres (20 percent of lot area)

**Proposed Impervious Surface Coverage**

15,707 Square Feet or 12% Impervious

**Front Yard Setback**

60 feet (R-1 District)

**Side Yard Setback**

20 feet (R-1 District)

**Rear Yard Setback**

25 feet (R-1 District)

**Building Height**

25' Max. on the front elevation, 35' Max on the rear elevation

**Description of the Proposed Project**

Construction of a new single family residence home

**Estimated Start Date**

3/1/2021

**Estimated Completion Date**

6/30/2022

**Estimated Cost of Project**

\$1,750,000.00

**Supporting Documentation (Site Plan, Drawings, Other Information)**

2021-01-04 Davis DRB Review set.pdf

2021-01-04\_Davis Site Plan\_Biltmore Forest L1-MSTR.pdf

2021-01-04\_Davis Site Plan\_Biltmore Forest L2-SITE.pdf

2021-01-04\_Davis Site Plan\_Biltmore Forest L3-DETL.pdf

**Applicant Signature**

Thomas J Davis  
Theresa Davis

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**Date**

1/4/2021

# VARIANCE APPLICATION

Town of Biltmore Forest

## Name

Thomas & Theresa (Jim & Terry) Davis

## Address

24 Busbee Road

## Phone

(828) 775-4643

## Email

tzdavis38@gmail.com

## Current Zoning/Use

Residential

## Requested Use

Residential Building Lot

**APPLICATION REQUIREMENTS:** An application to the Board of Adjustment for a variance must be submitted to the Town of Biltmore Forest Town Manager at least 21 days prior to the meeting at which the application will be considered. A pre-application meeting with Town staff is required prior to application submittal to the Board of Adjustment.

## What would you like to do with your property?

We would like to build a new construction single family home on our Lot on Busbee Road. In order to overcome challenges in sighting the house, we would like to have a small portion of our driveway (only) constructed into the rear setback line. Taking into consideration the best for all parties: tree conservation, neighbors privacy, driveway slope, & our view. The proposed house is NOT within the setback requirements.

## What does the ordinance require?

Rear setbacks for R-1 are 25 feet:

### § 153.007 DIMENSIONAL REQUIREMENTS.

(A) Table. As Set forth in Ordinance with setbacks of 20'Sides, 25' Rear, 60'Front setbacks

(B) General provisions. The following are footnotes applicable to the table in division (A).

(1) Footnote 1. The minimum lot area for lots not served by public water and/or sewer shall be subject to approval by the County Health Department to ensure the proper operation of septic tanks and wells. In no case, however, shall minimum lot area be less than those specified in the table in division (A).

(2) Footnote 3. The minimum lot width at the street line shall be 125 feet in the R-1 District, and 80 feet in the R-2, R-3, and R-4 Districts.

(3) Footnote 4. On all corner lots, a 30-foot side yard setback is required.

(4) Footnote 5. Accessory structures, including driveways, shall meet all setback requirements.

Notwithstanding the foregoing, setback requirements for driveway entrance columns or driveway entrance walls may be waived or modified by the Board of Adjustment with the granting of a conditional use permit in accordance with § 153.110(C), without the need for a variance pursuant to § 153.110(D).

(5) Footnote 6. Height requirements may be varied upon approval of the Board of Adjustment.

(6) Footnote 7. Whichever is greater, 20,000 square feet, or twice the gross floor area of the building.

(7) Footnote 8. An increase in the side and rear yard setbacks is required for homes (structures) that exceed 25 feet in height. Homes (structures) greater than 25 feet in height shall be setback from the side and rear property lines an additional one and one-half feet for each one foot, or portion thereof, that the home (structure) exceeds 25 feet in height.

(8) Footnote 9. Structures exceeding a roof coverage area of 7,000 square feet shall be set back from side and rear property lines an additional 20% of the required setback for each 500 square feet, or

increment thereof, that the roof coverage areas exceeds 7,000 square feet.

Example: The rear setback for a single story 8,200 square foot house in the R-1 District would be calculated as follows:

$$8,200 - 7,000 = 1,200$$

$$1,200/500 = 2.4 \text{ (round to 3 to account for increment of change)}$$

$$3 \times 20\% = 60\%$$

$$60\% \times 20 = 12$$

$$25 + 12 = 37$$

Rear setback will be 37 feet

(Ord. passed 10-19-1983; Ord. passed 8-12-2013)

BOARD OF ADJUSTMENT: N.C.G.S. 160A-388(D) requires that the Board of Adjustment shall vary the provisions of the Zoning Ordinance only upon a showing of ALL the items below. The Board of Adjustment must follow strict procedure and all determinations must be decided by a concurring vote of four-fifths of the members of the Board. It is important to provide detailed supporting documentation for the Board of Adjustment to review. If necessary, additional sheets may be attached to this application.

**REQUIRED FINDINGS: Please provide a thorough response to each.**

**Unnecessary hardship would result from the strict application of the ordinance.**

The hardship of sighting our proposed new construction home without placement of driveway in the rear setbacks are as follows:

- Neighbors privacy: Proposed location places the home as high as possible on the lot, which in turn provides better privacy for each of the neighboring homes.
- the location of the requested driveway variance is sited along border with adjacent property to create the least amount of encroachment and impact on privacy of the homesite.
- Tree conservation: by allowing the driveway in the rear setback, several trees located to the opposite side of the proposed home site will be preserved. If the home were to shift on its axis the northwest (right), additional large diameter poplar trees & a 32" diameter White oak would need to be removed.
- Driveway slope: Our current proposed driveway does not exceed 15% grade at any point which helps improve drainage, allows for more attractive aesthetics and safety.
- View: If the driveway is removed from the rear setback, the home would potentially need to be located further down the hill, which in turn would greatly effect our view, which is was one of the primary draws

**The hardship results from conditions that are peculiar to the property, such as location, size, or topography.**

The lot lines on the upper portion of the lot area are a bit narrower than that of the rest of the lot. Reasons for placement of house on the upper portion as stated above. The unique shape of lot creates 2 rear borders which both have 25 foot setbacks vs. 1 rear setback.

**The hardship did not result from actions taken by the applicant or the property owner.**

Proposed only at this point in time

**The requested variance is consistent with the spirit, purpose, and intent of the ordinance, such that public safety is secured, and substantial justice is achieved.**

The safety of all those using the driveway, including service personnel, Biltmore Forest Town Hall Service personnel, US Postal personnel, etc. will be ensured by having the lowest slope possible.

**I hereby certify that all of the information set forth above is true and accurate to the best of my knowledge.**

Signature

Thomas J. Davis  
Theresa Davis

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Date

1/4/2021





Sheet Title:  
 MASTER PLAN TREE PLANTING PLAN  
 EROSION CONTROL PLAN

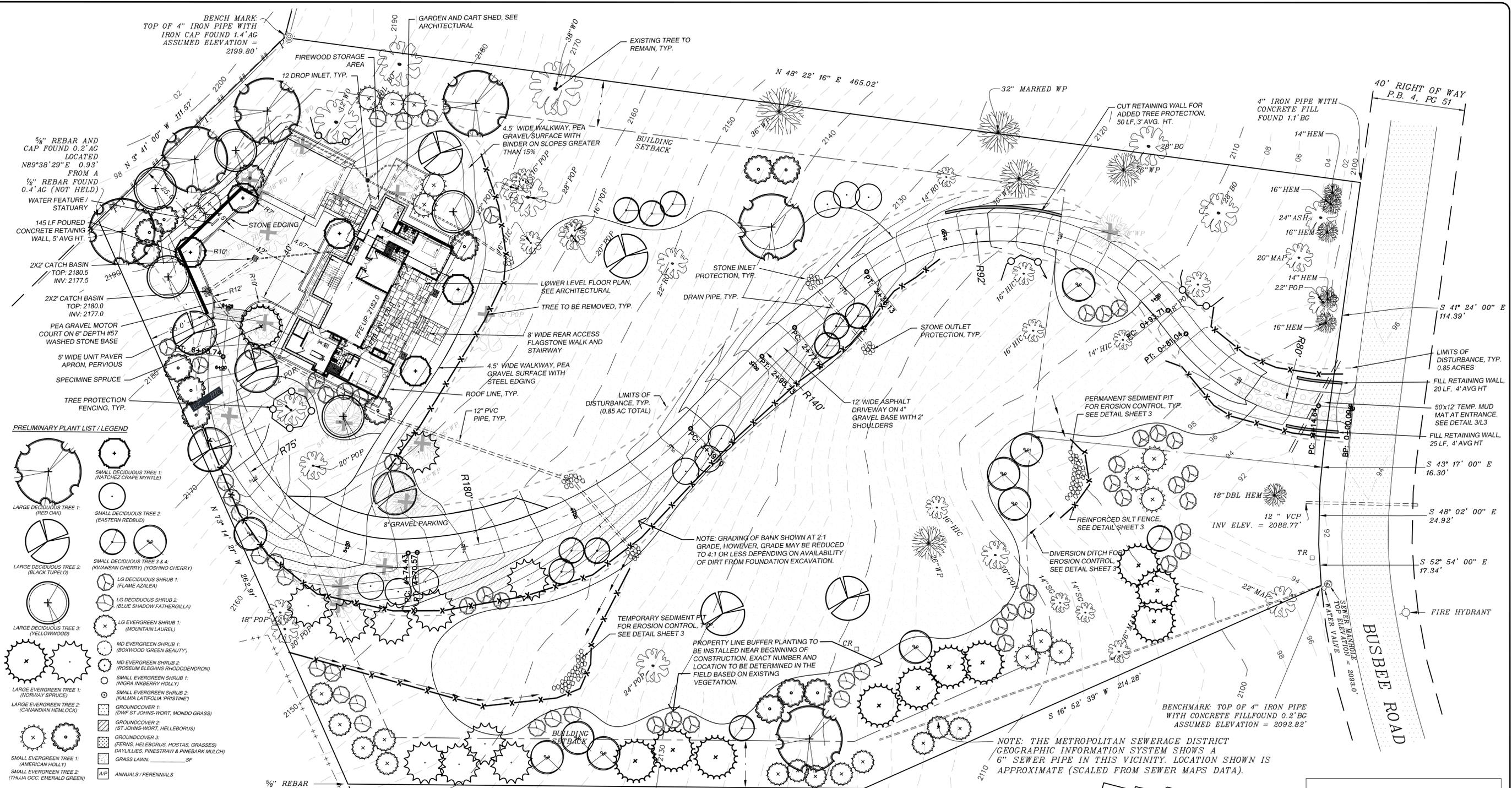
Job Number:  
 01/04/2021

Date:  
 01/04/2021

Drawn:  
 BHM

Approved:

Revisions:



**PRELIMINARY PLANT LIST / LEGEND**

- SMALL DECIDUOUS TREE 1 (NATCHES OPALE MYRTLE)
- LARGE DECIDUOUS TREE 1 (RED OAK)
- LARGE DECIDUOUS TREE 2 (BLACK TUPELO)
- LARGE DECIDUOUS TREE 3 (YELLOWWOOD)
- LARGE EVERGREEN TREE 1 (NORWAY SPRUCE)
- LARGE EVERGREEN TREE 2 (CANADIAN HEMLOCK)
- SMALL EVERGREEN TREE 1 (AMERICAN HOLLY)
- SMALL EVERGREEN TREE 2 (TRIKUA OCC. EMERALD GREEN)
- SMALL DECIDUOUS TREE 2 (EASTERN REDBUD)
- SMALL DECIDUOUS TREE 3 & 4 (KWANSAN CHERRY) (YOSHINO CHERRY)
- LG DECIDUOUS SHRUB 1 (FLAME AZALEA)
- LG DECIDUOUS SHRUB 2 (BLUE SHADOW FATHERGILLA)
- LG EVERGREEN SHRUB 1 (MOUNTAIN LAUREL)
- MD EVERGREEN SHRUB 1 (BOXWOOD 'GREEN BEAUTY')
- MD EVERGREEN SHRUB 2 (ROSEUM ELEGANS RHODODENDRON)
- SMALL EVERGREEN SHRUB 1 (NIGRA INKBERRY HOLLY)
- SMALL EVERGREEN SHRUB 2 (KALMIA LATIFOLIA PRISTINE)
- GROUND COVER 1 (DWF ST. JOHNS-WORT, MONDO GRASS)
- GROUND COVER 2 (ST. JOHNS-WORT, HELLEBORUS)
- GROUND COVER 3 (FERNS, HELEBORUS, HOSTAS, GRASSES)
- DAYLILIES, PINESTRAW & PINEBARK MULCH
- GRASS LAWN - SF
- ANNUALS / PERENNIALS

**TREE REPLACEMENT REQUIREMENTS**

Size of Existing Tree	Replacement of Protected Tree	Replacement of Un-Protected Tree
6-12" DBH	2 trees	1 tree
13-18" DBH	3 trees	1 tree
19-30" DBH	4 trees	2 trees
30" DBH or greater	5 trees	3 trees

**PROTECTED TREES TO BE REMOVED**

NO.	Description	Relacem't Value
1	24" WO	4 trees
2	24" WO	4 trees
3	16" WO	3 trees
4	18" WO	3 trees
5	22" HIC	4 trees
6	30" DBL HIC	5 trees
7	22" HIC	4 trees
8	20" POP	4 trees
9	22" POP	4 trees
10	50" POP	5 trees
11	32" HIC	5 trees
12	24" WO	4 trees
<b>REPLACEMENT VALUE:</b>		<b>49 Trees</b>

**UNPROTECTED TREES TO BE REMOVED**

NO.	Description	Relacem't Value
1	22" WP (Hazard)	0 trees
2	26" WP (Hazard)	0 trees
3	28" WP (Hazard)	0 trees
4	34" WP (Hazard)	0 trees
5	36" WP (Hazard)	0 trees
6	20" POP (Hazard)	0 trees
<b>REPLACEMENT VALUE:</b>		<b>0 Trees</b>

**IMPERVIOUS AREA CALCULATIONS**

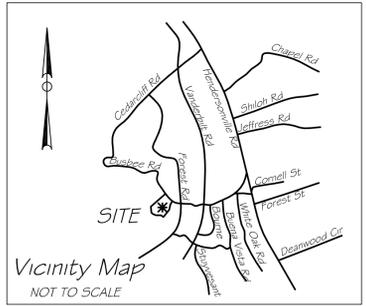
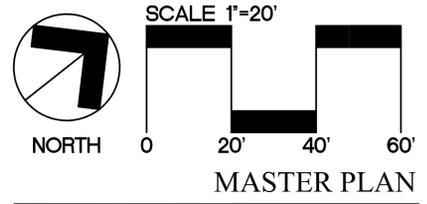
ALLOWABLE UP TO 25%: 32,670 SF  
 (3 AC X 43560 X 0.25)  
 ROOF: 5,462 SF  
 MOTORCOURT: 2,023 SF  
 DRIVEWAY: 7,222 SF  
 ACCESSORY: 1,000 SF  
 TOTAL: 15,707 SF (12% IMPERVIOUS)

**CHECKLIST FOR CONSTRUCTION**

- A Certificate of Zoning Compliance is required prior to lot clearing or work beginning.
- Any damage done to road shoulders during construction is the responsibility of the contractor. The contractor shall be required to make necessary repairs to bring the road shoulders back to their original condition prior to construction.
- The contractor is required to ensure that equipment, including tracked equipment (e.g. bulldozers or track hoes), shall not be unloaded or operated on pavement surfaces.
- Vehicles shall not park or be driven on the edges of the pavement unless receiving prior approval from the Town's Public Works Department. Vehicles and equipment are explicitly prohibited from parking on adjoining property road shoulders.
- Adequate protective measures shall be taken to prevent soil run off from disturbed ground areas, and particularly, the mud mat protections as denoted in the attached brochure from the NC Sedimentation and Erosion Control Program shall be maintained.
- Heavy aggregate gravel is to be placed from the edge of the roadway a minimum of 100 feet back into the construction site as per the diagram on the attached brochure.
- The contractor is responsible for monitoring the driveway gravel conditions and topdress with clean stone when required.
- The contractor is responsible for inspecting the temporary driveway after heavy rains.
- The contractor is responsible for delivery trucks and dumpster trucks dragging debris into the roadway, and roadways must be cleaned after deliveries.
- Gravel must be kept off roadways at all times, and the contractor is responsible for reshaping the pad as necessary for drainage and runoff control.
- The construction site is to be maintained neatly without accumulation of trash and debris.
- No overnight parking on Town road shoulders or rights of way.

**BEFORE YOU DIG**  
 CALL 1-800-632-4949  
 NC ONE CALL CENTER  
 IT'S THE LAW

**130,668 SF**  
**3.00 Acres**  
 PIN LOT: 9647-70-2722  
 D.B. 5641, PG. 1924;  
 P.B. 4, PG. 51

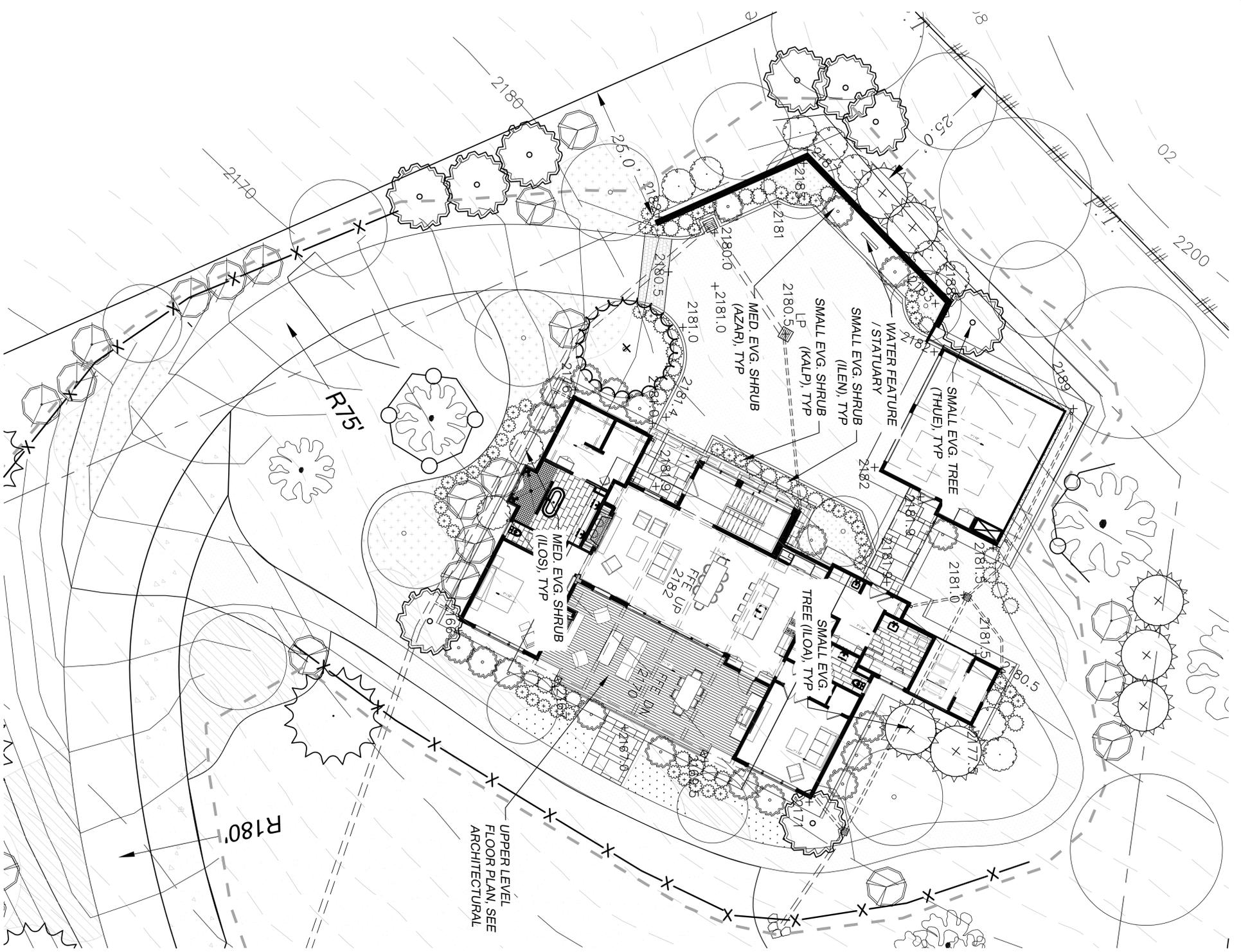


NOTE: THE METROPOLITAN SEWERAGE DISTRICT GEOGRAPHIC INFORMATION SYSTEM SHOWS A 6" SEWER PIPE IN THIS VICINITY. LOCATION SHOWN IS APPROXIMATE (SCALED FROM SEWER MAPS DATA).

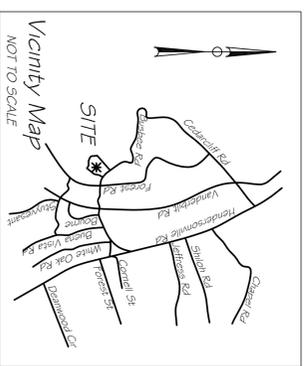
**DOCUMENT REFERENCE NOTE:**  
 THIS PLAN IS PART OF ARCHITECTURAL PLAN SET SUBMITTED BY HUNTER DENDY, ARCHITECT, ON 12/18/2020. SEE ARCHITECTURAL PLAN SET FOR DIMENSIONS.

ORIGINAL SRUVEY ISSUED AND SEALED BY GRAHAM N. DULS, L-4876, ON APRIL 20, 2018. THIS MEDIA SHALL NOT BE CONSIDERED A CERTIFIED SURVEY. SEE THE ORIGINAL DOCUMENT FOR CERTIFICATE AND SEAL.

REFERENCE SHEET L2 & L3 OF THIS DRAWING SET FOR DETAILED SITE PLAN AND CONSTRUCTION DETAILS AND NOTES



- SITE PLAN NOTES:**
1. WATER, SEWER, ELECTRIC AND GAS SERVICE TO BE COORDINATED WITH CONTRACTOR AND UTILITY PROVIDERS AND SHALL BE ADDED TO THE SITE PLAN. ALL UTILITY LINES WILL BE PLACED UNDERGROUND AND UTILITY CONNECTIONS, METER BOXES MUST BE LOCATED IN AN INCONSPICUOUS LOCATION AS WELL AS SCREENED FROM VIEW.
  2. NO CONSTRUCTION, TRAFFIC OR STORAGE OF MATERIALS WILL BE PERMITTED BEYOND THE LIMITS OF CONSTRUCTION SHOWN ON PLAN.
  3. ANY FUTURE EXTERIOR LIGHTING, OTHER THAN WHAT IS SHOWN ON PLAN, SHALL BE SUBMITTED TO THE ABB AS A SEPARATE PLAN.
  4. ANY ADDITIONAL PROPOSED SITE FEATURES NOT SHOWN ON THIS PLAN SHALL REQUIRE APPROVAL FROM THE ABB PRIOR TO CONSTRUCTION OF SAID FEATURES, INCLUDING IRRIGATION.
  5. THE ABB SHALL BE NOTIFIED AND APPROVAL ACCEPTED FOR ANY ADDITIONAL TREES TO BE REMOVED.
  6. ANY ADDITIONAL PROPOSED SITE FEATURES NOT SHOWN ON THIS PLAN SHALL REQUIRE APPROVAL FROM THE ABB PRIOR TO CONSTRUCTION OF SAID FEATURES, INCLUDING IRRIGATION.
  7. ALL DRAINAGE PIPES SHALL BE PVC OR HDPE.
  8. CONDUIT SHALL BE PROVIDED FOR ANY UTILITY LINES WHERE CONSTRUCTION ACTIVITY IS PROPOSED TO OCCUR AND UNDER DRIVES, WALLS AND DRAINAGE PIPES AND STRUCTURES.
  9. ANY TREE TO BE SAVED WITHIN THE DISTURBED AREA AND NOT PROTECTED BY SILT FENCE SHALL HAVE TREE PROTECTION FENCING AROUND IT.
  10. ALL EROSION CONTROL MEASURES ARE TEMPORARY. ALL MEASURES ARE TO BE INSTALLED PRIOR TO LAND DISTURBANCE AND REMOVED UPON COMPLETION OF CONSTRUCTION. SPECIALTY AFTER-THE-FACT EROSION CONTROL MEASURES ARE TO BE PROVIDED TO MAINTAIN THE EROSION CONTROL STRATEGY THROUGHOUT THE CONSTRUCTION PERIOD.
  11. THE REMOVAL OR DAMAGE OF ANY TREES MEASURING SIX (6) INCHES OR MORE IN CALIPER AT A POINT FOUR (4) FEET ABOVE GROUND LEVEL, ANY FLOWERING TREES OR SHRUBS, OR ANY EVERGREENS WITHOUT THE WRITTEN APPROVAL OF THE ABB IS STRICTLY PROHIBITED.
  12. THE REMOVAL OF ADDITIONAL TREES AFTER CONSTRUCTION HAS COMMENCED REQUIRES A WRITTEN REQUEST AND A SITE INSPECTION BY THE ABB. ABSOLUTELY NO GRADING, FILL DIRT, STORED MATERIALS, OR HEAVY EQUIPMENT ALLOWED IN THE DRIP LINE AREA.
  13. TREES IN THE CONSTRUCTION ZONE NOT APPROVED FOR REMOVAL MUST BE PROTECTED BY A BARRIER AROUND THE DRIPLINE AREA OF THE TREE.
  14. ALL UTILITY TRENCHES IN THE ROOT ZONE OF A TREE MUST BE HAND DUG.
  15. DIRECT WATER RUNOFF TO ASSIST IRRIGATION WHERE POSSIBLE.
  16. DIRECT WATER, DOWNSPOUTS AND DRAIN TILE, USE STONE LEVEL SPREADERS AT DOWNSPOUT DOWNSPOUTS TO PREVENT WATER FLOW CONCENTRATION.
  17. DIRECT WATER, DOWNSPOUTS AND DRAIN TILE, USE STONE LEVEL SPREADERS AT DOWNSPOUT DOWNSPOUTS TO PREVENT WATER FLOW CONCENTRATION.
  18. UPON COMPLETION OF CONSTRUCTION, AMEND COMPACTED SOIL WITH ORGANIC MATERIAL AND CALCIUM SULFATE TO IMPROVE WATER PENETRATION INTO THE SOIL TO DECREASE THE RUNOFF BURDEN. MOST OF THE SOIL CONTAINS LARGE AMOUNTS OF CLAY AND IS COMPACTED BY CONSTRUCTION EQUIPMENT TO A POROSITY ALMOST EQUIVALENT TO CONCRETE.
  19. II-1 CONSTRUCTION ZONE NOTE:
  20. IN ORDER TO PRESERVE THE MAXIMUM AMOUNT OF SURROUNDING NATURAL LANDSCAPE DURING THE CONSTRUCTION PROCESS CONTRACTORS SHOULD PLAN FOR MATERIAL STORAGE AND DELIVERY, PARKING AND CLEARING LIMITATIONS. IN ORDER TO PRESERVE EXISTING TREES ADJACENT TO THE HOME SITE, MANUAL TRENCHING OR EXCAVATING MAY BE REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR DEFINING THE CONSTRUCTION ZONE AND SHOULD BE PRESENT DURING THE INITIAL CLEARING. IN ORDER TO STAY WITHIN THE CONSTRUCTION ZONE, THE ORDER OF TASK USED TO BUILD THE HOME MUST BE CONSIDERED AS PART OF THE PROJECT DESIGN. FOR EXAMPLE, LARGE RETAINING WALLS ON THE REAR OF THE PROPERTY MAY NEED TO BE CONSTRUCTED PRIOR TO THE CONSTRUCTION OF THE HOME. UNDER NO CIRCUMSTANCES WILL CONTRACTORS BE ALLOWED TO ENCROACH, USE, DAMAGE, OR BLOCK ACCESS TO ADJACENT LOTS. ANY USE OF ADJACENT PROPERTY MUST BE APPROVED BY THAT OWNER IN WRITING AND SUBMITTED FOR ABB RECORD.
  21. EACH CONSTRUCTION LOCATION WITH THE DOOR FACING AWAY FROM THE STREET AND NEIGHBORING HOMES WHERE POSSIBLE.
  22. TREES ARE NOT PERMITTED ON RESIDENTIAL CONSTRUCTION SITES UNDER ANY CIRCUMSTANCES.
  23. THE SITE LOCATION AND NEIGHBORING HOMES WHERE POSSIBLE.
  24. ACCESS TO THE SITE SHOULD BE LIMITED TO THE PROPOSED DRIVEWAY LOCATION.



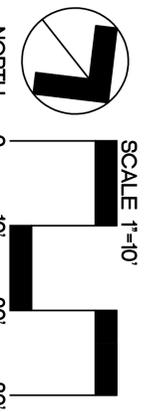
**PLANT SCHEDULE**

Symb./Qty	Botanical Name	Common Name	Height	Caliper	Root	Comment
<b>LARGE DECIDUOUS TREES: 19 TOTAL</b>						
Q6	QUERCUS RUBRA	RED OAK	12'-14'	2" min	B&B / Cont.	Straight trunk; dense, uniform branching; matched
MSS	NYSSA SYLVATICA	BLACK TUPELO	12'-14'	2" min	B&B / Cont.	Straight trunk; dense, uniform branching; matched
Q5	QUERCUS LAEVOGARRULA	YELLOW OAK	12'-14'	2" min	B&B / Cont.	Straight trunk; dense, uniform branching; matched
<b>LARGE EVERGREEN TREES: 19 TOTAL</b>						
PICA	PIGEA ABIES	NORWAY SPRUCE	8'	2" min	B&B / Cont.	Straight trunk; dense, uniform branching; matched
TSIC	TSUGA CANADENSIS	CANADIAN HEMLOCK	8'	2" min	B&B / Cont.	Straight trunk; dense, uniform branching; matched
<b>SMALL DECIDUOUS TREES: 34 TOTAL (COUNTS AS 8 LARGE TREE REPLACEMENT CREDITS)</b>						
GERC	GEORGIA CANADENSIS	EASTERN REDBUD	8'-10'	1.5" min	B&B / Cont.	Straight trunk; dense, uniform branching; matched
LAG	LAGURSTREUBIA INDICA 'NATOCHEZ'	NATCHES GRAPE WRENLE	8'-10'	1.5" min	B&B / Cont.	Multi-trunk; dense, uniform branching; matched
PRUK	PRUNUS SEROTINATA 'KAWANSAN'	KAWANSAN CHERRY	8'-10'	1.5" min	B&B / Cont.	Multi-trunk; dense, uniform branching; matched
PRUY	PRUNUS YEDOENSIS	YOSHINO CHERRY	8'-10'	1.5" min	B&B / Cont.	Straight trunk; dense, uniform branching; matched
<b>SMALL EVERGREEN TREES: 24 TOTAL (COUNTS AS 6 LARGE TREE REPLACEMENT CREDITS)</b>						
ILEO	ILEX OPACA	AMERICAN HOLLY	5-6'		B&B / Cont.	Straight trunk; dense, uniform branching; matched
THLE	THUJA OCCIDENTALIS 'EMERALD GRN.'	EMERALD GREEN ARBORVITAE	6' MIN		B&B / Cont.	Dense form; good color; well rooted
<b>LARGE DECIDUOUS SHRUBS</b>						
FOIM	FOHNERGELLA MAJOR	BLUE SHADOW FATHERGILLA	18" min.		B&B / Cont.	Dense form; good color; well rooted
RHOC	RHOODENDRON CALEDONICA	FLAME AZALEA	18" min.		B&B / Cont.	Dense form; good color; well rooted
<b>LARGE EVERGREEN SHRUBS</b>						
KALL	KALINA LATIFOLIA	MOUNTAIN LAUREL	30" min.		B&B / Cont.	Dense form; good color; well rooted
<b>MEDIUM EVERGREEN SHRUBS</b>						
RHOR	RHOODENDRON ROSEUM 'ELEGANS'	ROSEUM ELEGANS RHOODENDRON	30" min.		B&B / Cont.	Dense form; good color; well rooted
BUXS	BUXUS SEMPERVIRENS 'GREEN BEAUTY'	GREEN BEAUTY BOXWOOD	30" min.		B&B / Cont.	Dense form; good color; well rooted
<b>SMALL EVERGREEN SHRUBS</b>						
ILGN	ILEX GLABRA 'NIGRA'	NIGRA HIBERNY HOLLY	18" min.		B&B / Cont.	Dense form; good color; well rooted
KALP	KALINA LATIFOLIA 'PRISINE'	DWARF MT. LAUREL 'PRISINE'	18" min.		B&B / Cont.	Dense form; good color; well rooted
<b>GROUNDCOVERS</b>						
HELO	HELEBORUS ORIENTALIS	HELEBORUS/LENTEN ROSE	8" min.		8" Cont.	Dense form; good color; well rooted
OPHU	OPHIPOGON JAPONICUS	MONDO GRASS	3" min.		4" Cont.	Dense form; good color; well rooted
HIPC	HYPHENICUM CALYCONIUM	AARONSBERRY ST. JOHNSWORT	3" min.		4" Cont.	Dense form; good color; well rooted
AHFE	AHTRIVUM FLIX-FEMINA	LADY FERN	3" min.		4" Cont.	Dense form; good color; well rooted

**PLANTING NOTE:**  
 THIS PLANTING PLAN IS CONCEPTUAL IN NATURE. IN THAT SOME OF THE VARIETIES AND LOCATIONS OF PROPOSED TREES AND SHRUBS MAY CHANGE PRIOR TO FINAL INSTALLATION. ANY SIGNIFICANT MODIFICATIONS TO THIS PLAN WILL BE PRESENTED TO THE ABB FOR APPROVAL.  
 2" CALIPER TREES SHALL BE MEASURED NO LESS THAN 1' ABOVE GROUND.

BEFORE YOU DIG  
 CALL 1-800-632-4949  
 NO ONE CALL CENTER  
 IS THE LAW

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Sheet: **L2** of 3

**Land Planning Studios**  
 Landscape Architects and Land Planners  
 102 JUSTICE RIDGE ROAD  
 CANDLER, NORTH CAROLINA 28715

**Jim and Terry Davis Residence**  
 Biltmore Forest  
 Biltmore Forest, North Carolina

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A2.04	ROOF PLAN
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A7.01	DETAILS
A7.02	DETAILS
A8.01	SCHEDULES / WDW DIAGRAMS
E1.01	LOWER LEVEL ELECTRICAL PLAN
E1.02	MAIN LEVEL ELECTRICAL PLAN

PRICING SET - NOT FOR CONSTRUCTION

NEW CONSTRUCTION FOR:  
**DAVIS RESIDENCE**  
24 BUSBEE ROAD  
BILTMORE FOREST, NC 28803

PROJECT NO. 20011

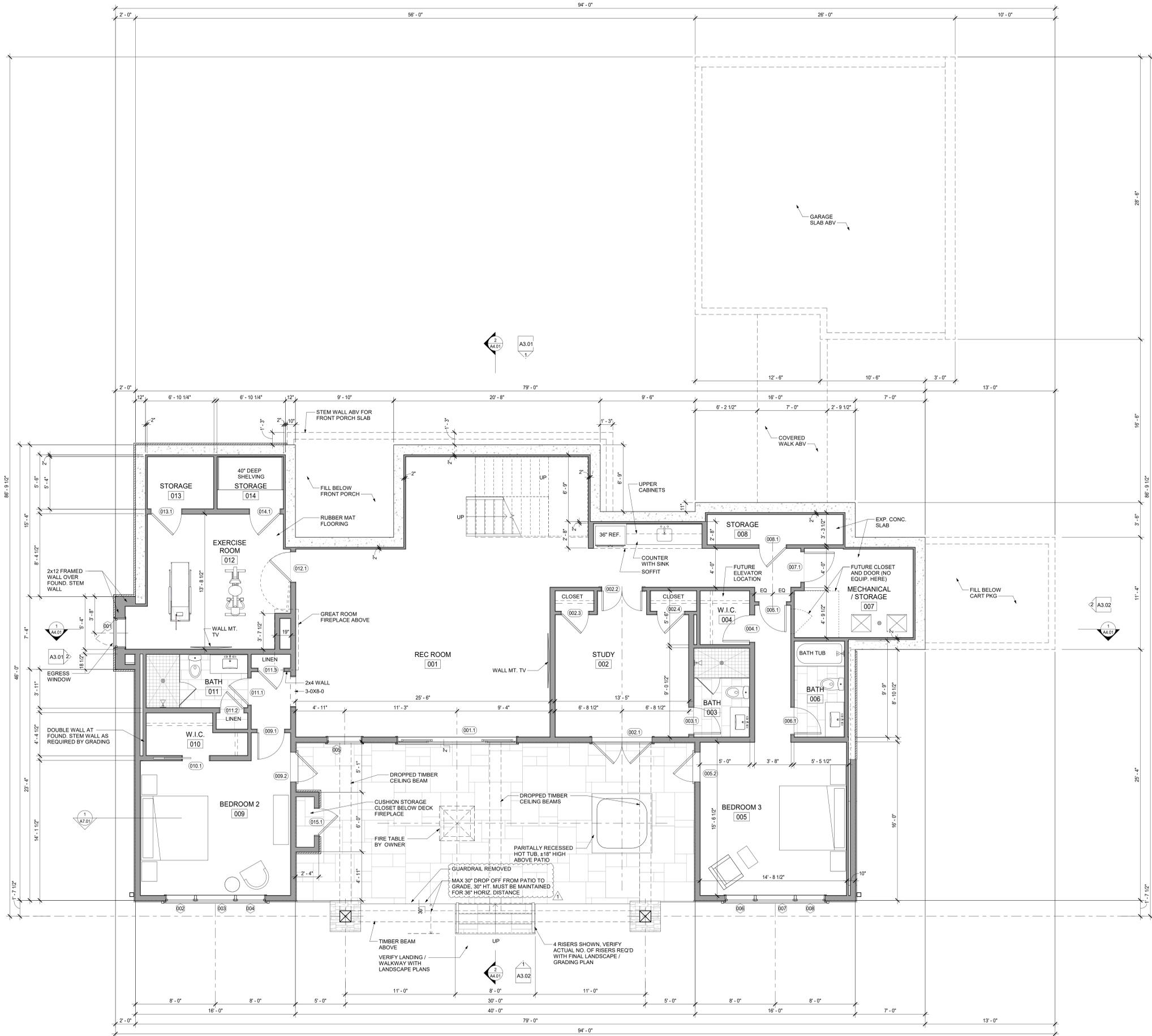
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REVISION SCHEDULE	REV. DATE
1	1/11/2021

PRICING SET  
DATE: 1/8/2021

LOWER LEVEL PLAN

A2.02

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HEATED

MAIN LEVEL	2403 SF
LOWER LEVEL	2203 SF
TOTAL	4607 SF

PORCHES

ML COVERED PORCH	713 SF
LL COVERED PORCH	657 SF
FRONT PORCH	95 SF
TOTAL	1465 SF

UNHEATED

GARAGE	715 SF
MECHANICAL	187 SF
TOTAL	902 SF
TOTAL PLANNED AREA	6974 SF

1 LOWER LEVEL FLOOR PLAN  
1/4" = 1'-0"



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E1.02	MAIN LEVEL ELECTRICAL PLAN

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NEW CONSTRUCTION FOR:  
**DAVIS RESIDENCE**  
24 BUSBEE ROAD  
BILTMORE FOREST, NC 28803

PROJECT NO. 20011

DRAWN BY: HD CHECKED BY: HD

REVISION SCHEDULE

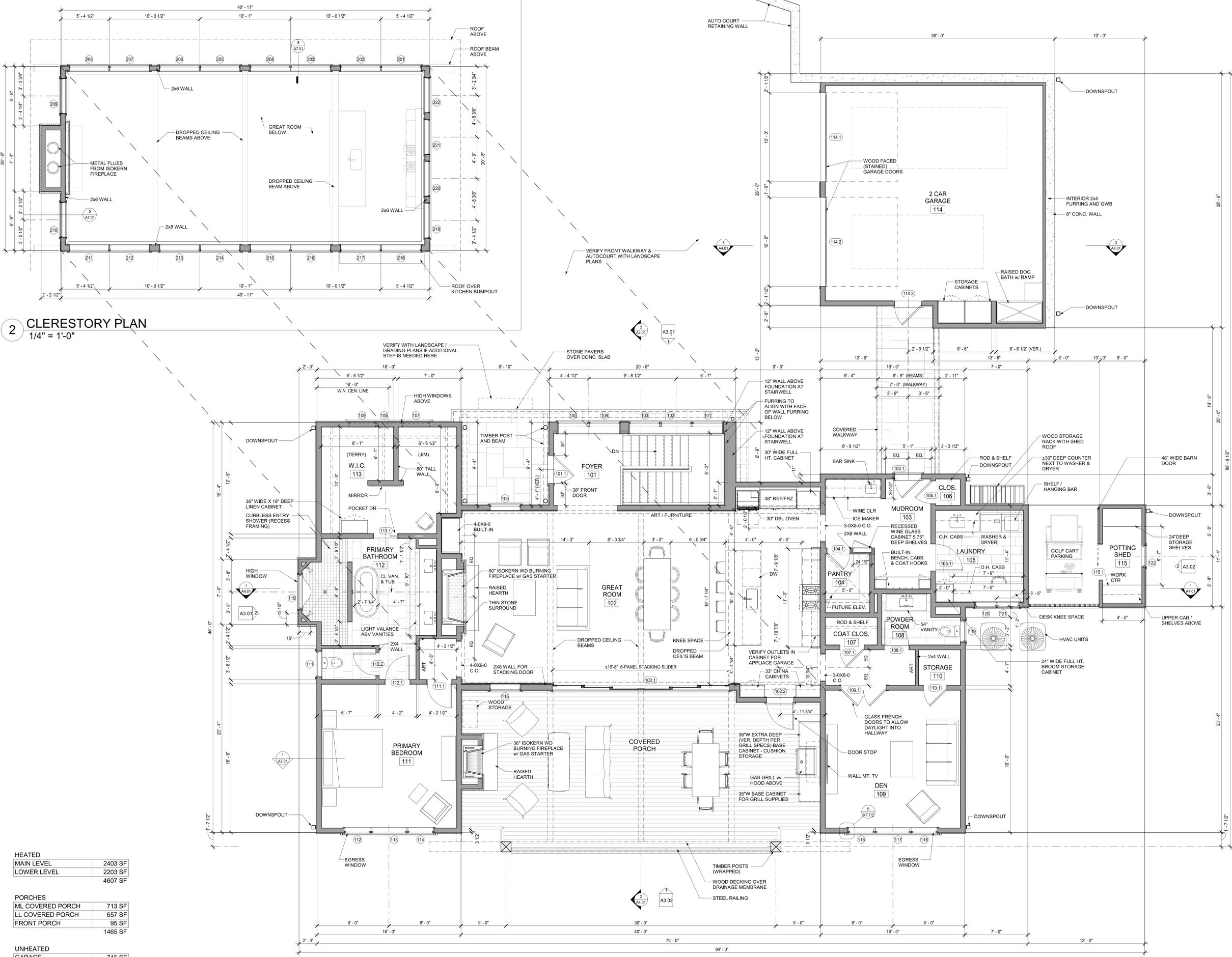
REV. NO.	REV. DATE

PRICING SET  
DATE: 1/8/2021

MAIN LEVEL PLAN

A2.03

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1 MAIN LEVEL FLOOR PLAN  
1/4" = 1'-0"

2 CLERESTORY PLAN  
1/4" = 1'-0"

HEATED

MAIN LEVEL	2403 SF
LOWER LEVEL	2203 SF
<b>TOTAL</b>	<b>4607 SF</b>

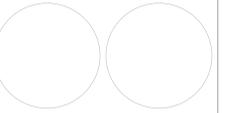
PORCHES

ML COVERED PORCH	713 SF
LL COVERED PORCH	657 SF
FRONT PORCH	95 SF
<b>TOTAL</b>	<b>1465 SF</b>

UNHEATED

GARAGE	715 SF
MECHANICAL	187 SF
<b>TOTAL</b>	<b>902 SF</b>
<b>TOTAL PLANNED AREA</b>	<b>6974 SF</b>

PLOT INFO: 1/11/2021 10:27:26 AM BIM 360://20011 Davis/Davis\_Cloud/Model.rvt



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SCHEDULES / W/DW DIAGRAMS	
E1.01	LOWER LEVEL ELECTRICAL PLAN
E1.02	MAIN LEVEL ELECTRICAL PLAN



1 ROOF PLAN  
1/4" = 1'-0"

PRICING SET - NOT FOR CONSTRUCTION

NEW CONSTRUCTION FOR:  
**DAVIS RESIDENCE**

24 BUSBEE ROAD  
BILTMORE FOREST, NC 28803

PROJECT NO.	20011
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REV. NO.	REV. DATE

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DATE: 1/8/2021

ROOF PLAN

A2.04

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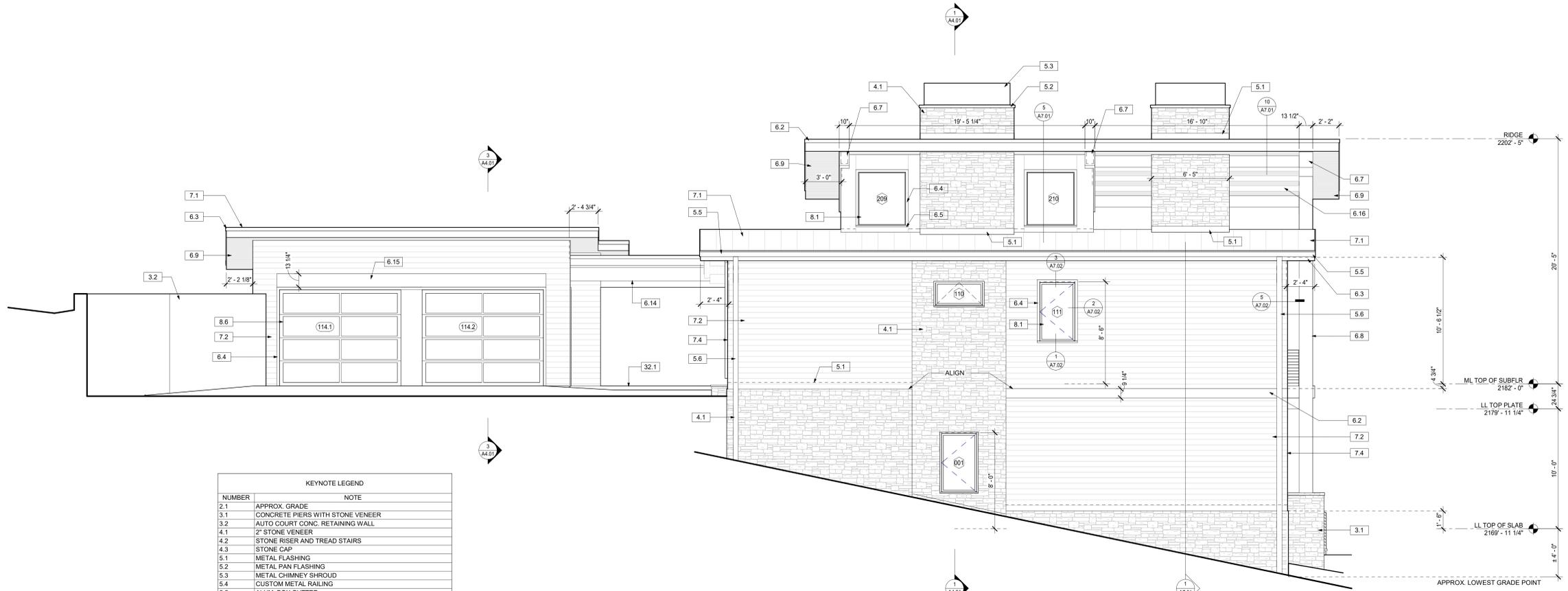
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ELEVATIONS

A3.01

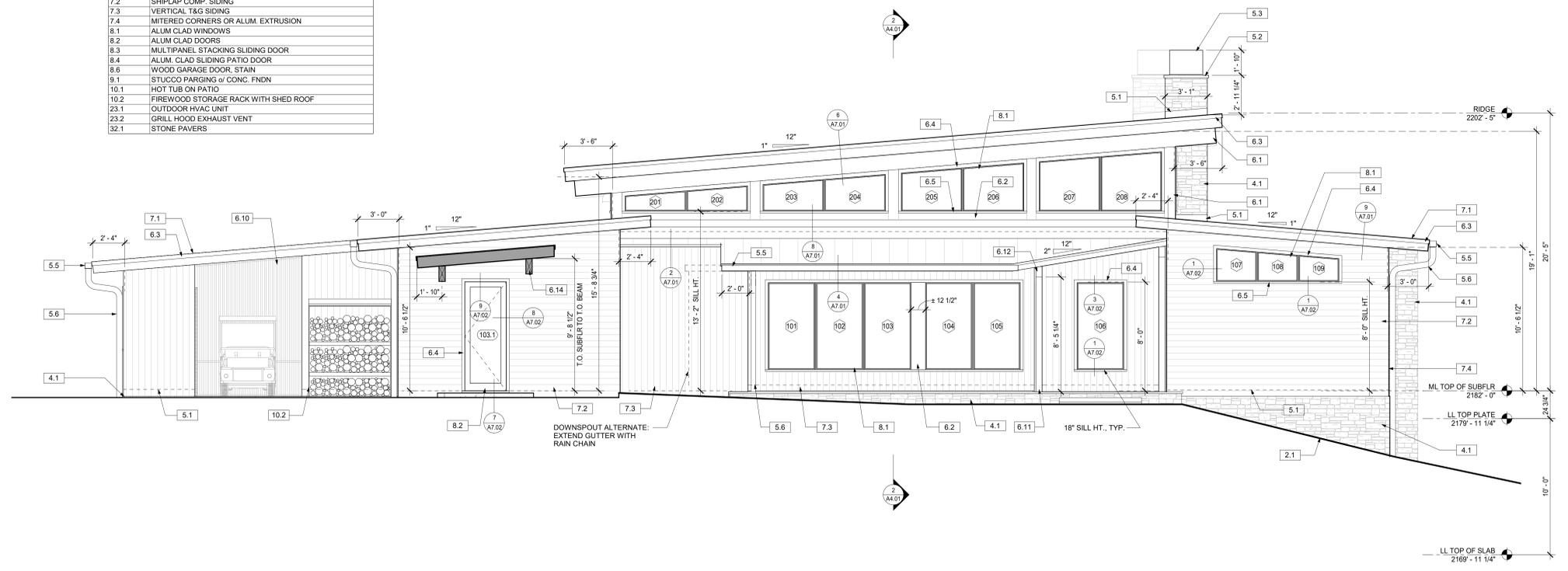
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2 SE ELEVATION  
1/4" = 1'-0"

KEYNOTE LEGEND

NUMBER	NOTE
2.1	APPROX. GRADE
3.1	CONCRETE PIERS WITH STONE VENEER
3.2	AUTO COURT CONC. RETAINING WALL
4.1	2" STONE VENEER
4.2	STONE RISER AND TREAD STAIRS
4.3	STONE CAP
5.1	METAL FLASHING
5.2	METAL PAN FLASHING
5.3	METAL CHIMNEY SHROUD
5.4	CUSTOM METAL RAILING
5.5	ALUM. BOX GUTTER
5.6	ALUM. RECT. DOWNSPOUT
5.7	STEEL PANELS ON HOOD CHASE
6.1	1.5" TIMBER TRIM, STAINED
6.2	5/4 COMP. EXT. TRIM
6.3	5/4 COMP. FASCIA
6.4	5/4x3 COMP. CASING
6.5	1.5" COMP. SILL
6.6	2x3 COMP. TRIM
6.7	TIMBER WRAPPED STRUC. BEAM
6.8	TIMBER WRAPPED STRUC. COL.
6.9	T&G SOFFIT, STAINED
6.10	VERT. WD SLAT SCREEN (CEDAR OR COMP)
6.11	6x6 TIMBER POSTS
6.12	6x10 TIMBER BEAM
6.14	WD BEAM PER STRUC. STAIN
6.15	1.5" COMP. TRIM
6.16	WD CEILING BEAMS, STAINED
6.17	PERF. CANT. BEAM SUPPORTING MAIN CANT.
7.1	METAL ROOF OVER LOW SLOPE MEMBRANE
7.2	SHIPLAP COMP. SIDING
7.3	VERTICAL T&G SIDING
7.4	MITERED CORNERS OR ALUM. EXTRUSION
8.1	ALUM. CLAD WINDOWS
8.2	ALUM. CLAD DOORS
8.3	MULTIPANEL STACKING SLIDING DOOR
8.4	ALUM. CLAD SLIDING PATIO DOOR
8.6	WOOD GARAGE DOOR, STAIN
9.1	STUCCO PARKING w/ CONC. FNDN
10.1	HOT TUB ON PATIO
10.2	FIREWOOD STORAGE RACK WITH SHED ROOF
23.1	OUTDOOR HVAC UNIT
23.2	GRILL HOOD EXHAUST VENT
32.1	STONE PAVERS



1 SW ELEVATION  
1/4" = 1'-0"

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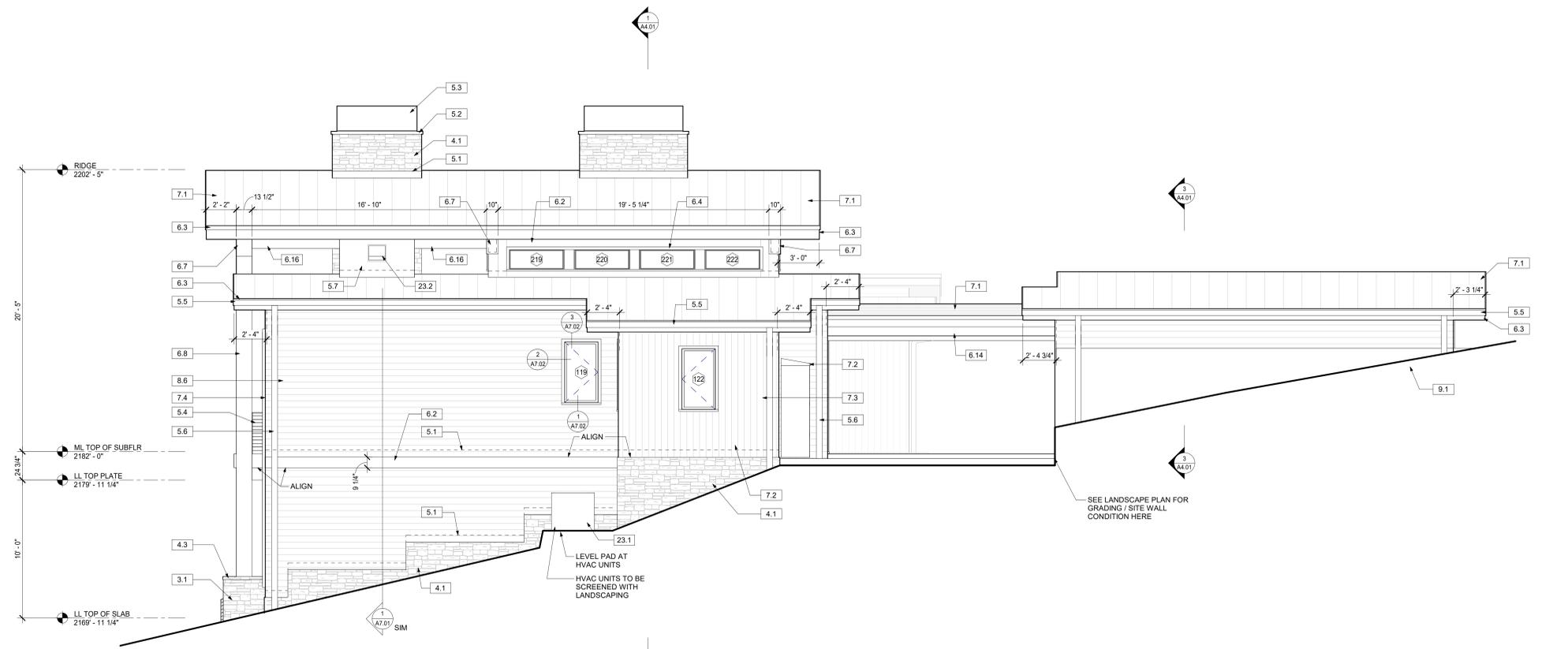
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PRICING SET  
DATE: 1/8/2021

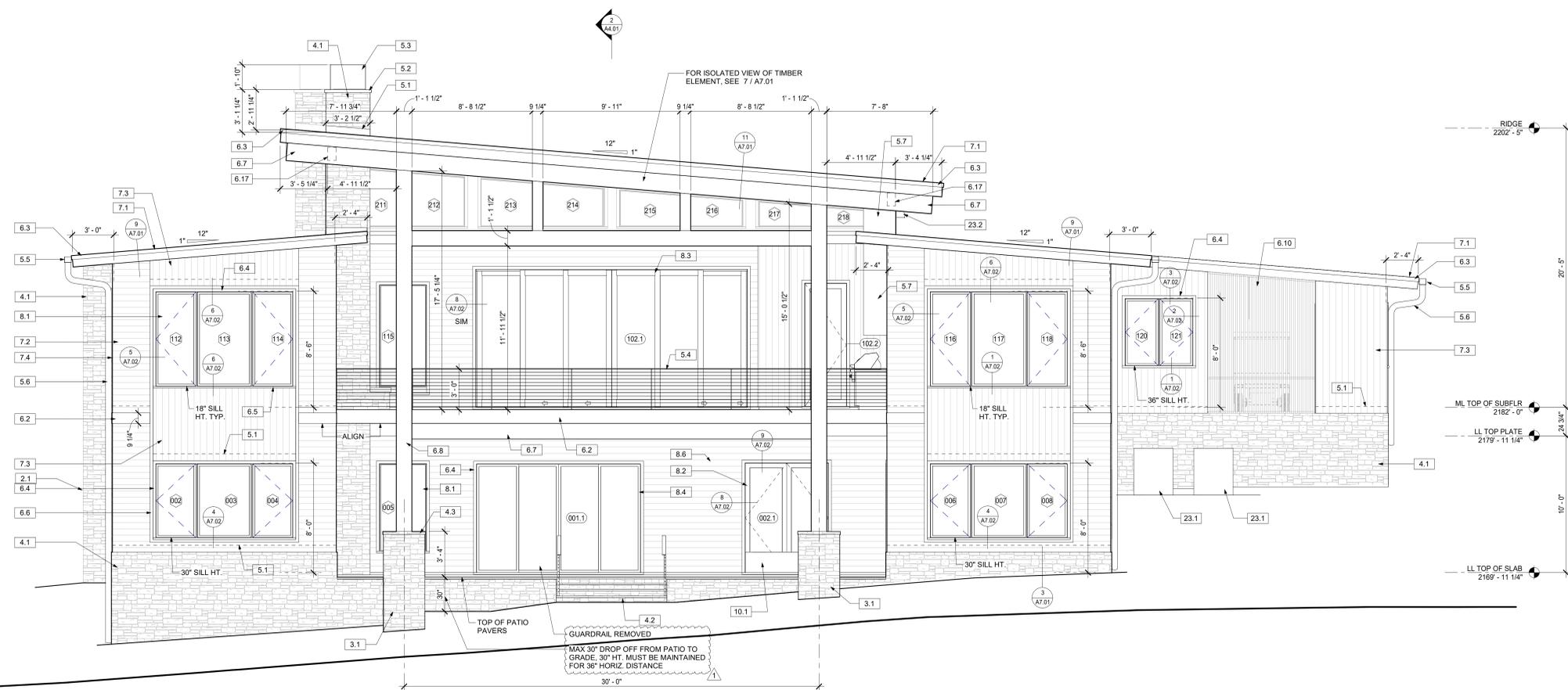
ELEVATIONS

A3.02

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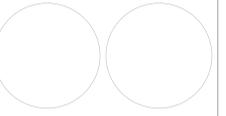
2 NW ELEVATION  
1/4" = 1'-0"



1 NE ELEVATION  
1/4" = 1'-0"

KEYNOTE LEGEND

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4.1	2" STONE VENEER
4.2	STONE RISER AND TREAD STAIRS
4.3	STONE CAP
5.1	METAL FLASHING
5.2	METAL PAN FLASHING
5.3	METAL CHIMNEY SHROUD
5.4	CUSTOM METAL RAILING
5.5	ALUM. BOX GUTTER
5.6	ALUM. RECT. DOWNSPOUT
5.7	STEEL PANELS ON HOOD CHASE
6.1	1.5" TIMBER TRIM, STAINED
6.2	5/4 COMP. EXT. TRIM
6.3	5/4 COMP. FASCIA
6.4	5/4-3 COMP. CASING
6.5	1.5" COMP. SILL
6.6	2x3 COMP. TRIM
6.7	TIMBER WRAPPED STRUC. BEAM
6.8	TIMBER WRAPPED STRUC. COL.
6.9	T&G SOFFIT, STAINED
6.10	VERT. WD SLAT SCREEN (CEDAR OR COMP)
6.11	6x6 TIMBER POSTS
6.12	6x10 TIMBER BEAM
6.14	WD BEAM PER STRUC. STAIN
6.15	1.5" COMP. TRIM
6.16	WD CEIL'G BEAMS, STAINED
6.17	PERP. CANT. BEAM SUPPORTING MAIN CANT.
7.1	METAL ROOF OVER LOW SLOPE MEMBRANE
7.2	SHIPLAP COMP. SIDING
7.3	VERTICAL T&G SIDING
7.4	MITERED CORNERS OR ALUM. EXTRUSION
8.1	ALUM CLAD WINDOWS
8.2	ALUM CLAD DOORS
8.3	MULTIPANEL STACKING SLIDING DOOR
8.4	ALUM CLAD SLIDING PATIO DOOR
8.6	WOOD GARAGE DOOR, STAIN
9.1	STUCCO PARING or CONC. FNDN
10.1	HOT TUB ON PATIO
10.2	FIREWOOD STORAGE RACK WITH SHED ROOF
23.1	OUTDOOR HVAC UNIT
23.2	GRILL HOOD EXHAUST VENT
3.1	STONE PAVERS



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A2.03	MAIN LEVEL PLAN
A2.04	ROOF PLAN
A3.01	ELEVATIONS
A3.02	ELEVATIONS
A4.01	BUILDING SECTIONS
A7.01	DETAILS
A7.02	DETAILS
A8.01	SCHEDULES / W/DW DIAGRAMS
E1.01	LOWER LEVEL ELECTRICAL PLAN
E1.02	MAIN LEVEL ELECTRICAL PLAN

PRICING SET - NOT FOR CONSTRUCTION

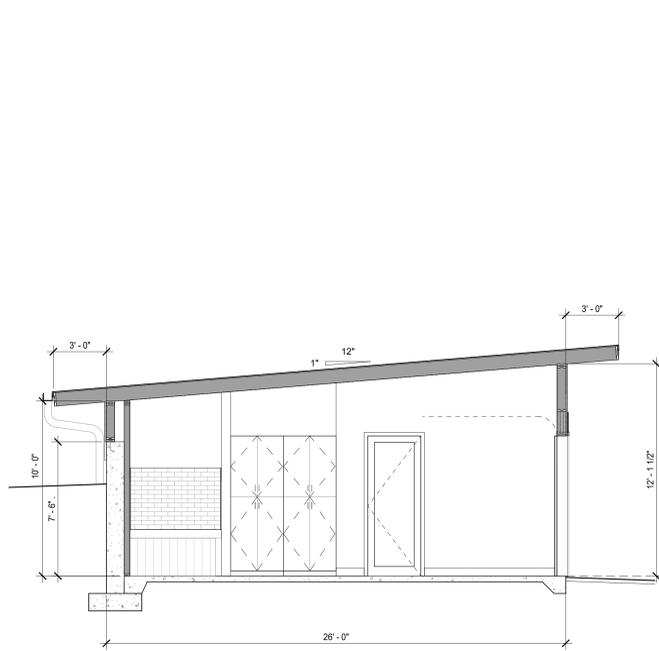
NEW CONSTRUCTION FOR:  
**DAVIS RESIDENCE**  
24 BUSBEE ROAD  
BILTMORE FOREST, NC 28803

PROJECT NO.	20011
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REVISION SCHEDULE	REV. DATE
REV. NO.	REV. DATE
PRICING SET	DATE: 1/8/2021

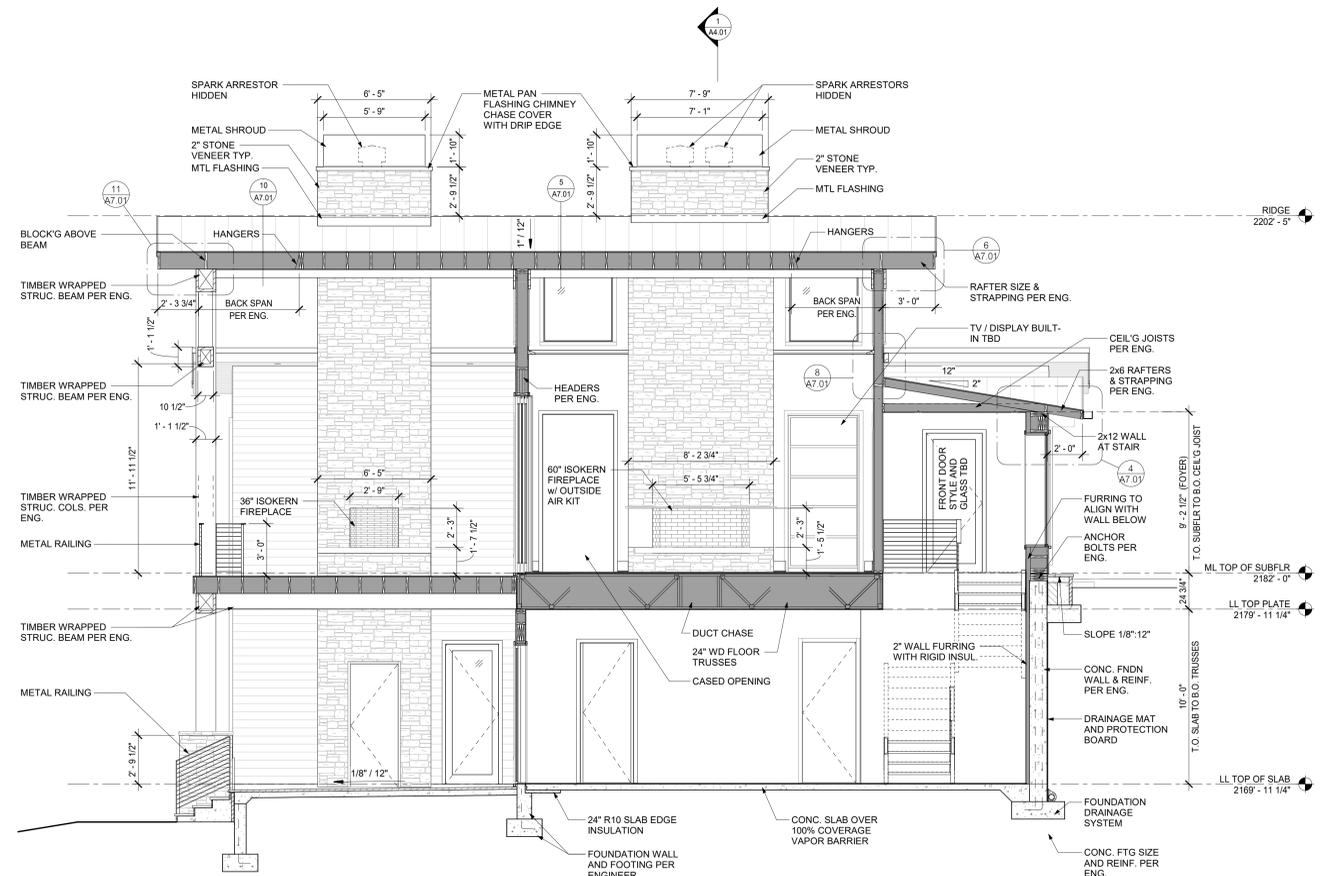
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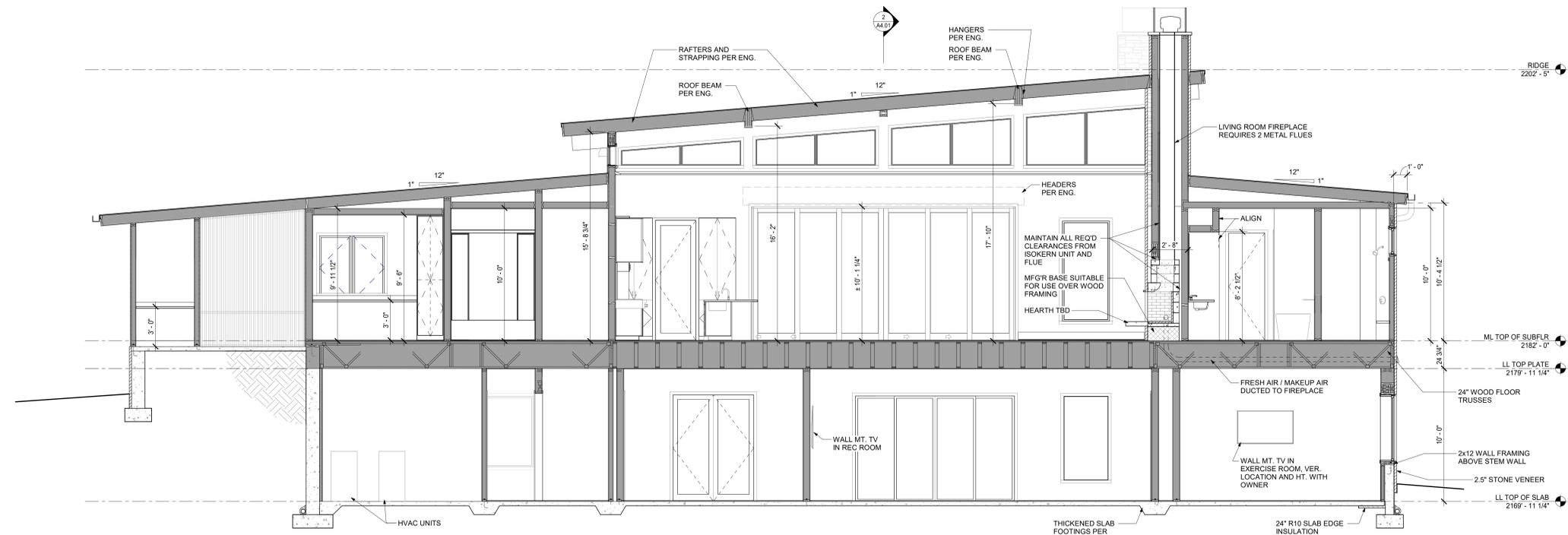
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3 GARAGE SECTION  
1/4" = 1'-0"



2 BUILDING SECTION 2  
1/4" = 1'-0"



1 BUILDING SECTION 1  
1/4" = 1'-0"

BIM 360/20011 DavisDavis - Cloud Combi.rvt  
PLOT INFO: 1/11/2021 10:27:48 AM





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PRICING SET - NOT FOR CONSTRUCTION

NEW CONSTRUCTION FOR:  
**DAVIS RESIDENCE**  
24 BUSBEE ROAD  
BILTMORE FOREST, NC 28803

PROJECT NO. 20011

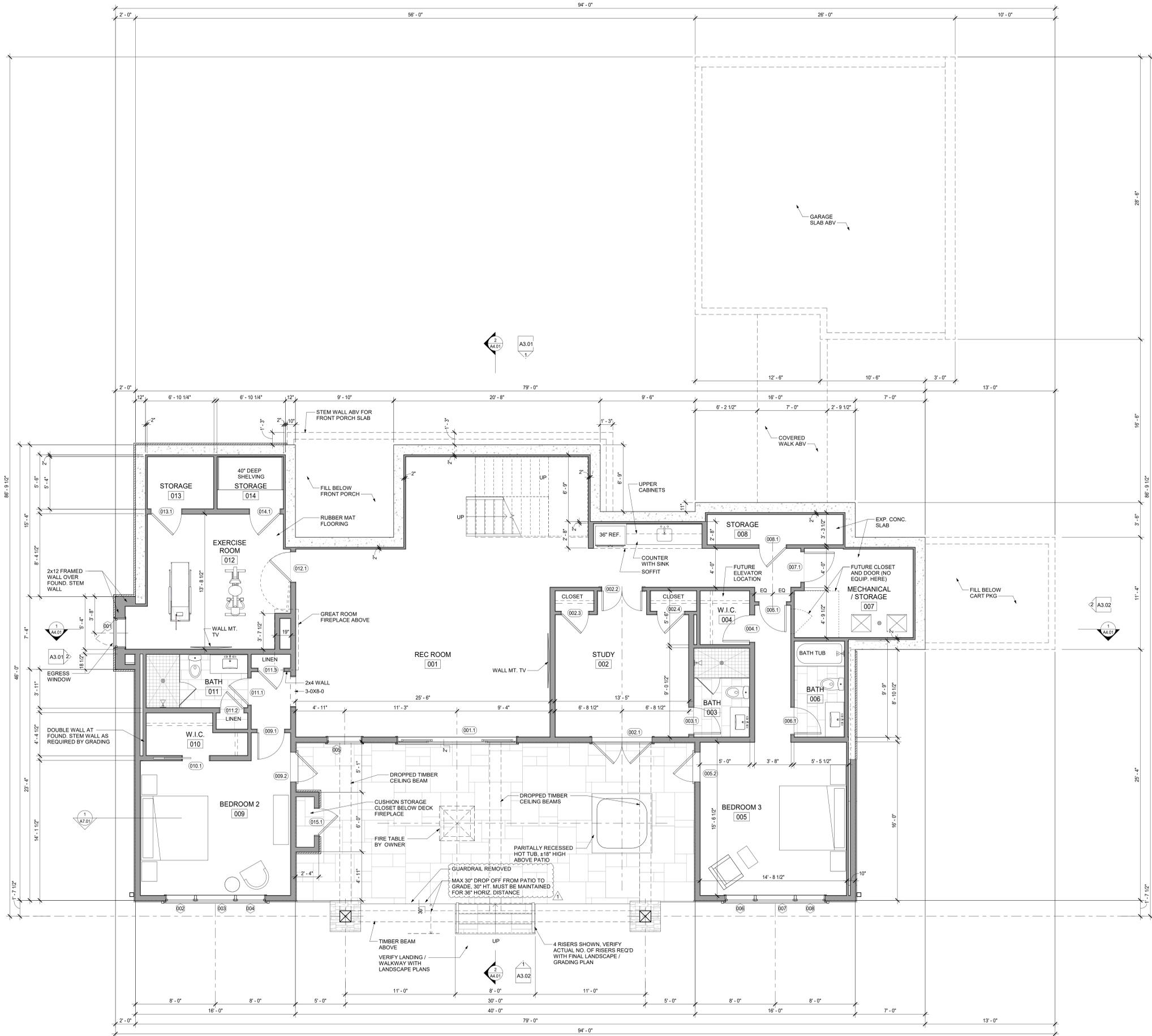
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REVISION SCHEDULE	REV. DATE
1	1/11/2021

PRICING SET  
DATE: 1/8/2021

LOWER LEVEL PLAN

A2.02

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HEATED

MAIN LEVEL	2403 SF
LOWER LEVEL	2203 SF
<b>TOTAL</b>	<b>4607 SF</b>

PORCHES

ML COVERED PORCH	713 SF
LL COVERED PORCH	657 SF
FRONT PORCH	95 SF
<b>TOTAL</b>	<b>1465 SF</b>

UNHEATED

GARAGE	715 SF
MECHANICAL	187 SF
	902 SF
<b>TOTAL PLANNED AREA</b>	<b>6974 SF</b>

1 LOWER LEVEL FLOOR PLAN  
1/4" = 1'-0"



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A4.01	BUILDING SECTIONS
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A7.02	DETAILS
A8.01	SCHEDULES / WDW DIAGRAMS
E1.01	LOWER LEVEL ELECTRICAL PLAN
E1.02	MAIN LEVEL ELECTRICAL PLAN

PRICING SET - NOT FOR CONSTRUCTION

NEW CONSTRUCTION FOR:  
**DAVIS RESIDENCE**

24 BUSBEE ROAD  
BILTMORE FOREST, NC 28803

PROJECT NO. 20011

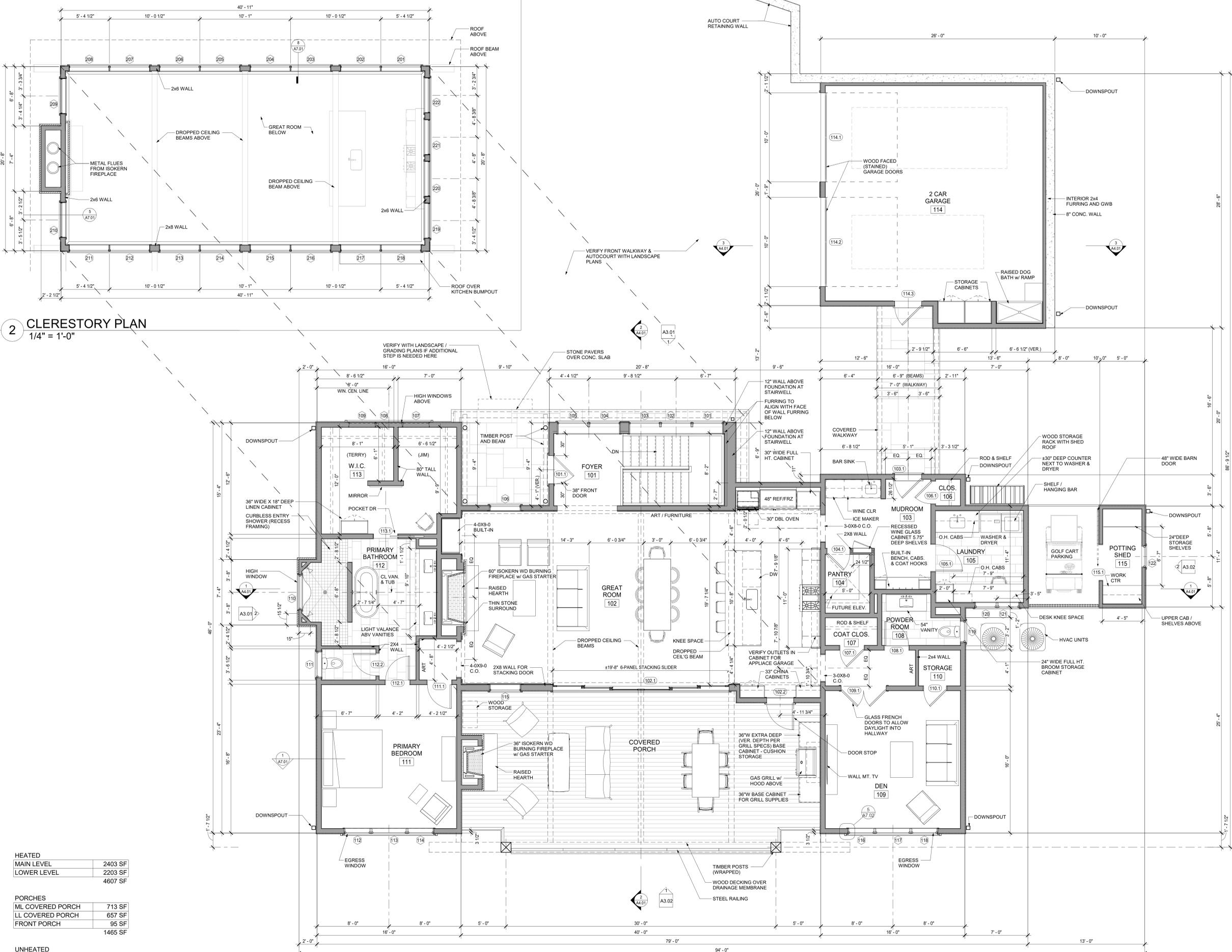
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REVISION SCHEDULE	REV. DATE

PRICING SET  
DATE: 1/8/2021

MAIN LEVEL PLAN

A2.03

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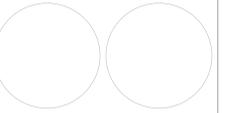


1 MAIN LEVEL FLOOR PLAN  
1/4" = 1'-0"

2 CLERESTORY PLAN  
1/4" = 1'-0"

HEATED	
MAIN LEVEL	2403 SF
LOWER LEVEL	2203 SF
4607 SF	
PORCHES	
ML COVERED PORCH	713 SF
LL COVERED PORCH	657 SF
FRONT PORCH	95 SF
1465 SF	
UNHEATED	
GARAGE	715 SF
MECHANICAL	187 SF
902 SF	
TOTAL PLANNED AREA	6974 SF

PLOT INFO: 1/11/2021 10:28:29 AM BIM 360://20011 Davis/Dendy - Cloud Connect.rvt



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A7.01	DETAILS
A7.02	DETAILS
A8.01	SCHEDULES / W/DW DIAGRAMS
E1.01	LOWER LEVEL ELECTRICAL PLAN
E1.02	MAIN LEVEL ELECTRICAL PLAN

PRICING SET - NOT FOR CONSTRUCTION

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**DAVIS RESIDENCE**

24 BUSBEE ROAD  
BILTMORE FOREST, NC 28803

PROJECT NO. 20011

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REVISION SCHEDULE

REV. NO. REV. DATE

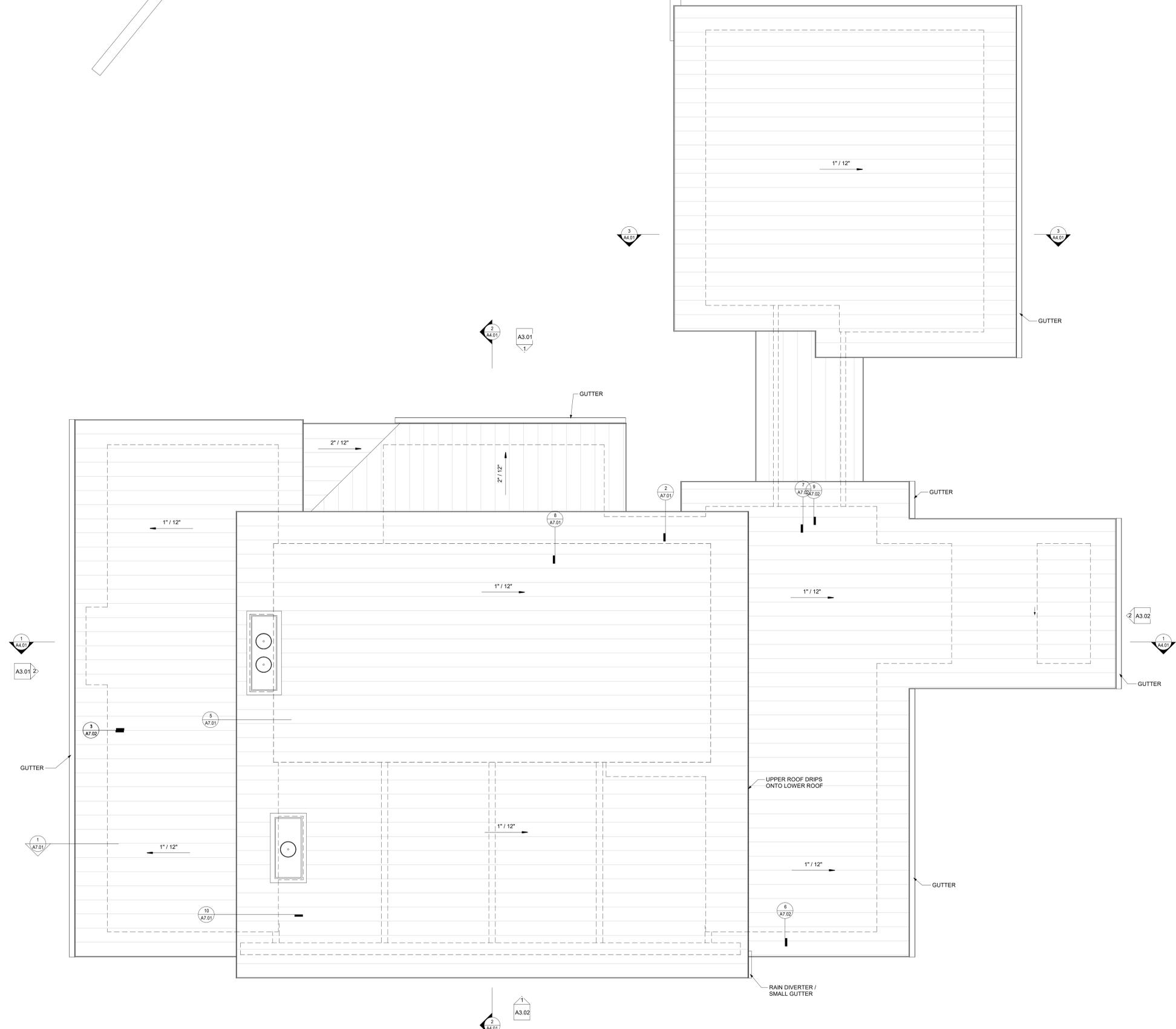
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PRICING SET  
DATE: 1/8/2021

ROOF PLAN

**A2.04**

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1 ROOF PLAN  
1/4" = 1'-0"



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**DAVIS RESIDENCE**

24 BUSBEE ROAD  
BILTMORE FOREST, NC 28803

PROJECT NO. 20011

DRAWN BY: HD CHECKED BY: HD

REVISION SCHEDULE

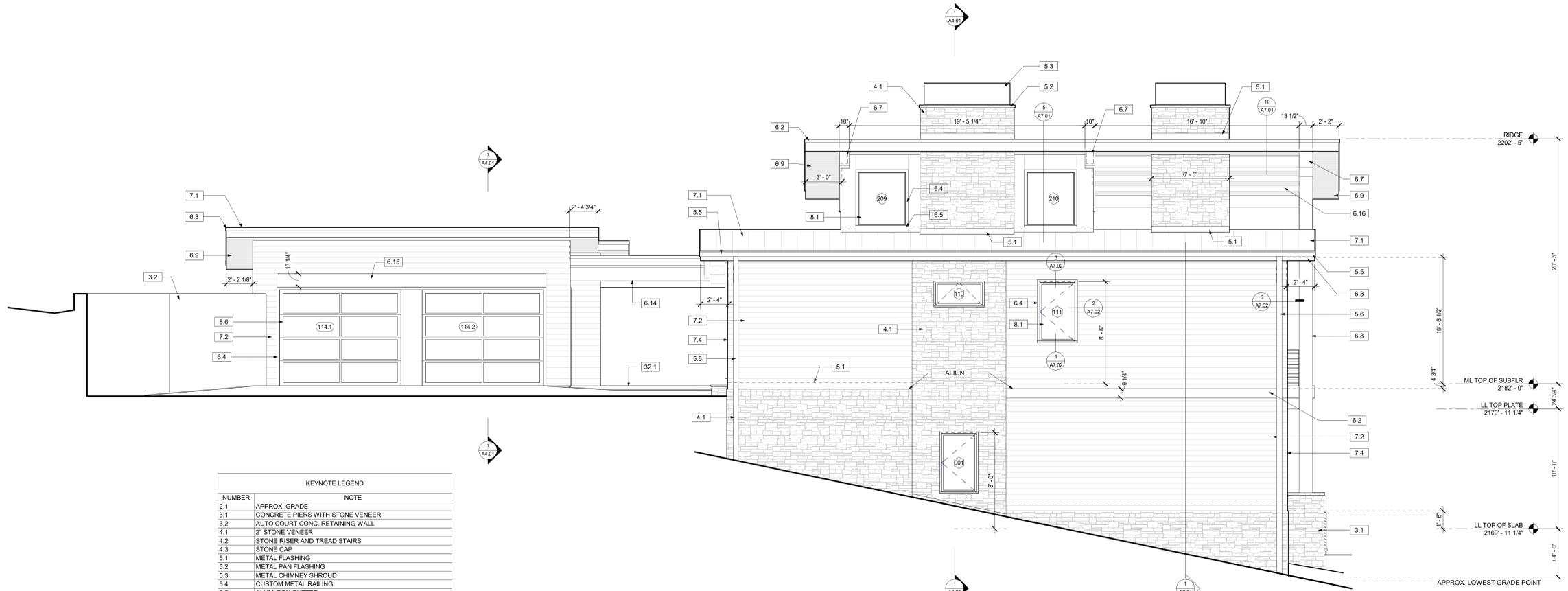
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PRICING SET  
DATE: 1/8/2021

ELEVATIONS

A3.01

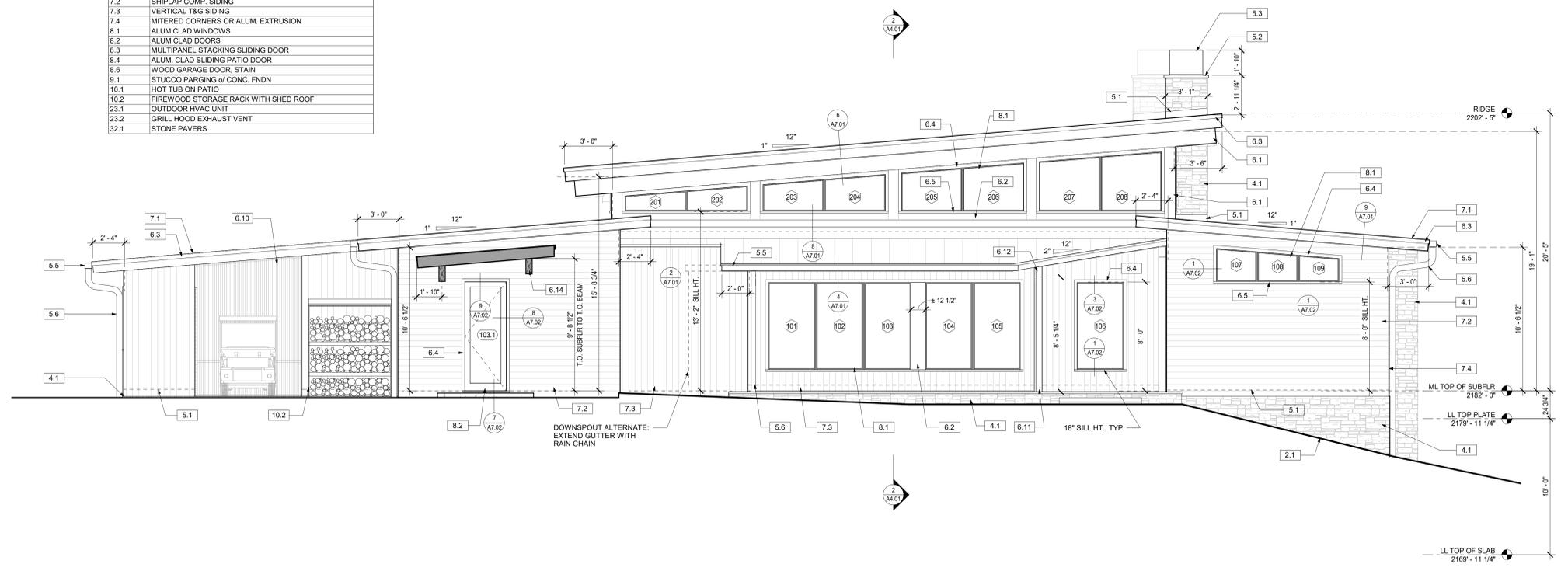
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KEYNOTE LEGEND

NUMBER	NOTE
2.1	APPROX. GRADE
3.1	CONCRETE PIERS WITH STONE VENEER
3.2	AUTO COURT CONC. RETAINING WALL
4.1	2" STONE VENEER
4.2	STONE RISER AND TREAD STAIRS
4.3	STONE CAP
5.1	METAL FLASHING
5.2	METAL PAN FLASHING
5.3	METAL CHIMNEY SHROUD
5.4	CUSTOM METAL RAILING
5.5	ALUM. BOX GUTTER
5.6	ALUM. RECT. DOWNSPOUT
5.7	STEEL PANELS ON HOOD CHASE
6.1	1.5" COMP. TRIM, STAINED
6.2	5/4 COMP. EXT. TRIM
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6.4	5/4x3 COMP. CASING
6.5	1.5" COMP. SILL
6.6	2x3 COMP. TRIM
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6.8	TIMBER WRAPPED STRUC. COL.
6.9	T&G SOFFIT, STAINED
6.10	VERT. WD SLAT SCREEN (CEDAR OR COMP)
6.11	6x6 TIMBER POSTS
6.12	6x10 TIMBER BEAM
6.14	WD BEAM PER STRUC. STAIN
6.15	1.5" COMP. TRIM
6.16	WD CEILING BEAMS, STAINED
6.17	PERF. CANT. BEAM SUPPORTING MAIN CANT.
7.1	METAL ROOF OVER LOW SLOPE MEMBRANE
7.2	SHIPLAP COMP. SIDING
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7.4	MITERED CORNERS OR ALUM. EXTRUSION
8.1	ALUM. CLAD WINDOWS
8.2	ALUM. CLAD DOORS
8.3	MULTIPANEL STACKING SLIDING DOOR
8.4	ALUM. CLAD SLIDING PATIO DOOR
8.6	WOOD GARAGE DOOR, STAIN
9.1	STUCCO PARKING w/ CONC. FNDN
10.1	HOT TUB ON PATIO
10.2	FIREWOOD STORAGE RACK WITH SHED ROOF
23.1	OUTDOOR HVAC UNIT
23.2	GRILL HOOD EXHAUST VENT
32.1	STONE PAVERS

2 SE ELEVATION  
1/4" = 1'-0"



1 SW ELEVATION  
1/4" = 1'-0"

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A8.01	SCHEDULES / W/DW DIAGRAMS
E1.01	LOWER LEVEL ELECTRICAL PLAN
E1.02	MAIN LEVEL ELECTRICAL PLAN

PRICING SET - NOT FOR CONSTRUCTION

NEW CONSTRUCTION FOR:  
**DAVIS RESIDENCE**  
24 BUSBEE ROAD  
BILTMORE FOREST, NC 28803

PROJECT NO. 20011

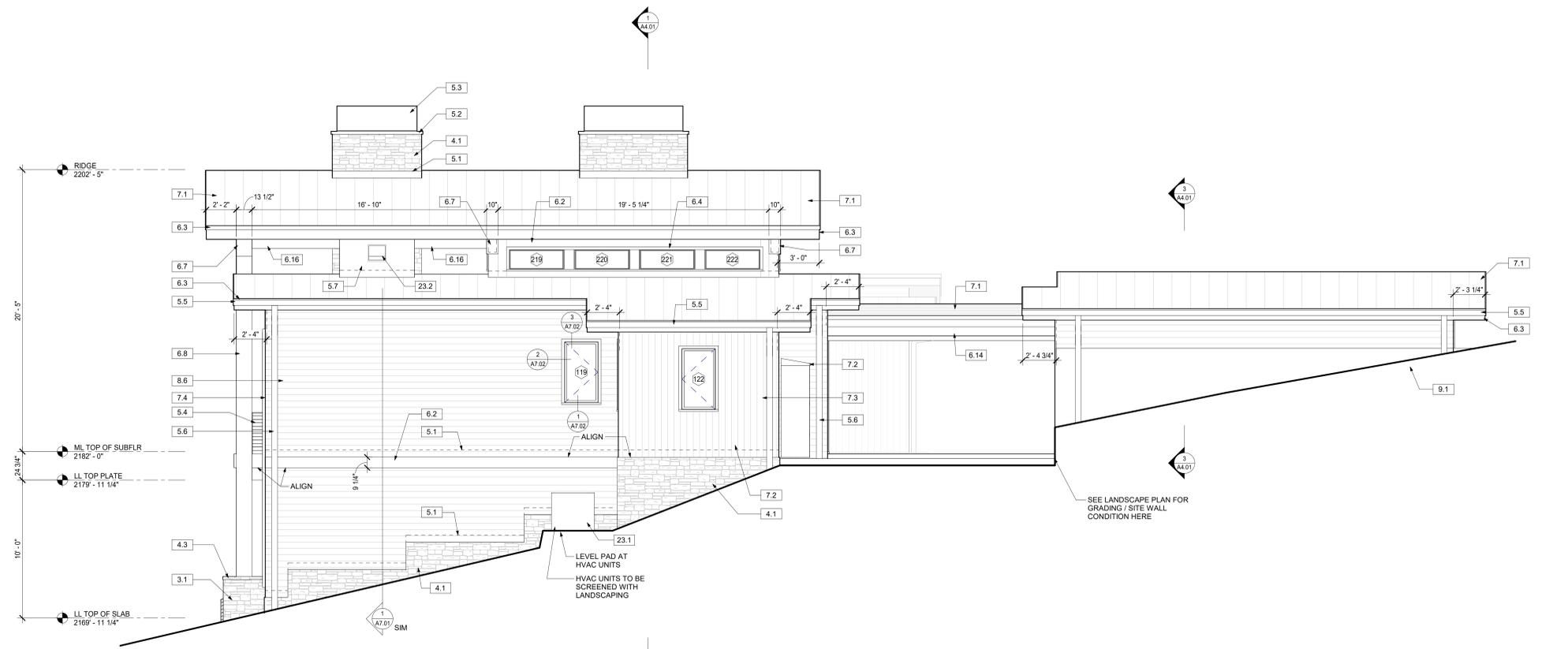
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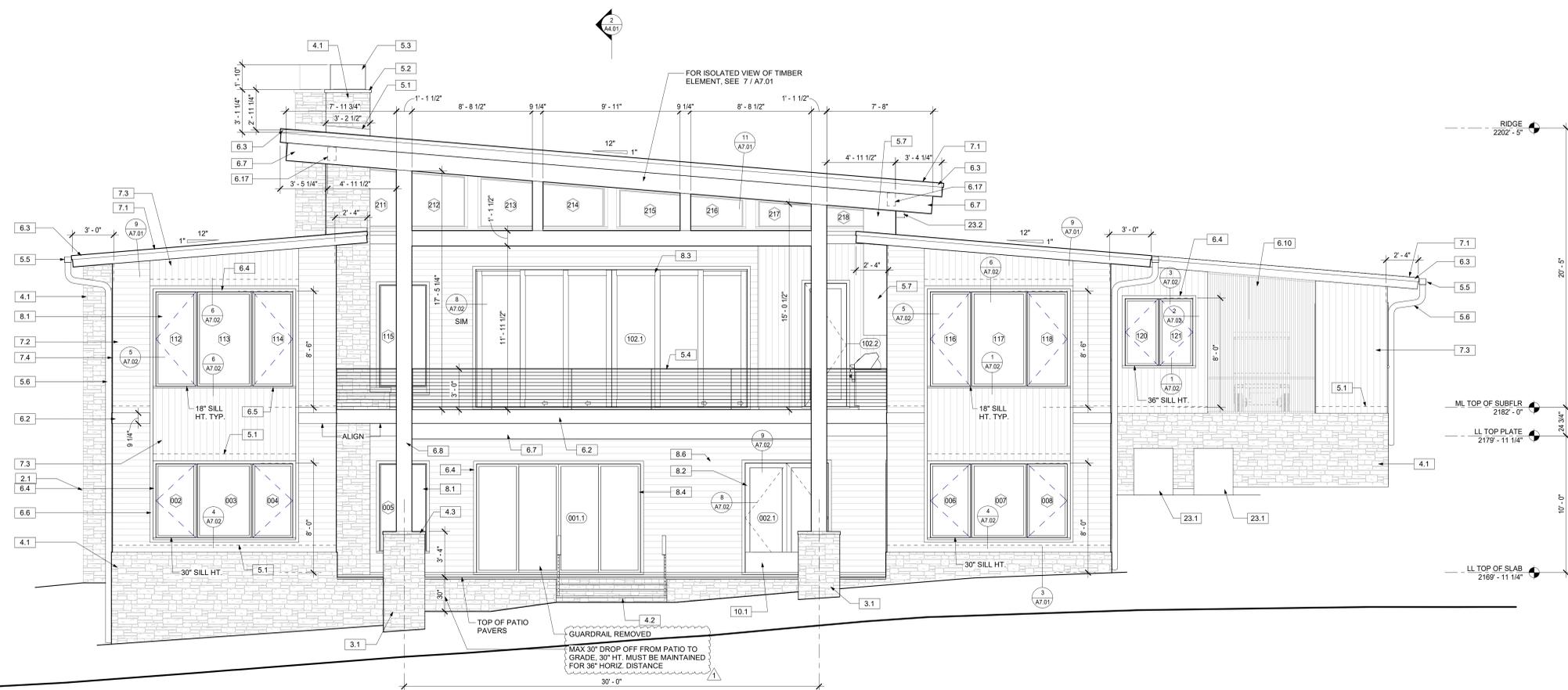
ELEVATIONS

A3.02

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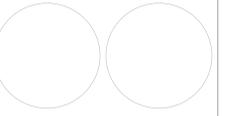
2 NW ELEVATION  
1/4" = 1'-0"



1 NE ELEVATION  
1/4" = 1'-0"

KEYNOTE LEGEND

NUMBER	NOTE
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8.2	ALUM CLAD DOORS
8.3	MULTIPANEL STACKING SLIDING DOOR
8.4	ALUM CLAD SLIDING PATIO DOOR
8.6	WOOD GARAGE DOOR, STAIN
9.1	STUCCO PARING or CONC. FNDN
10.1	HOT TUB ON PATIO
10.2	FIREWOOD STORAGE RACK WITH SHED ROOF
23.1	OUTDOOR HVAC UNIT
23.2	GRILL HOOD EXHAUST VENT
31.1	STONE PAVERS



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A7.02	DETAILS
A8.01	SCHEDULES / W/DW DIAGRAMS
E1.01	LOWER LEVEL ELECTRICAL PLAN
E1.02	MAIN LEVEL ELECTRICAL PLAN

PRICING SET - NOT FOR CONSTRUCTION

NEW CONSTRUCTION FOR:  
**DAVIS RESIDENCE**  
24 BUSBEE ROAD  
BILTMORE FOREST, NC 28803

PROJECT NO. 20011

DRAWN BY: HD CHECKED BY: HD

REVISION SCHEDULE

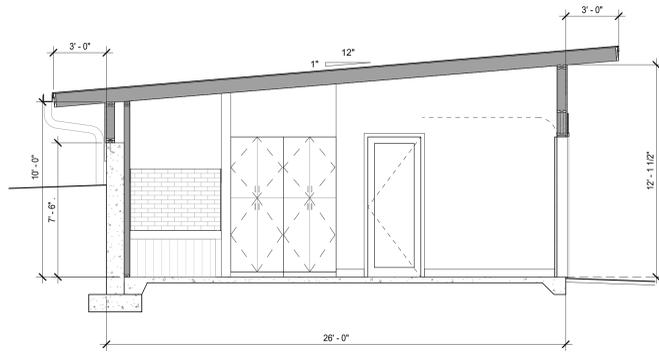
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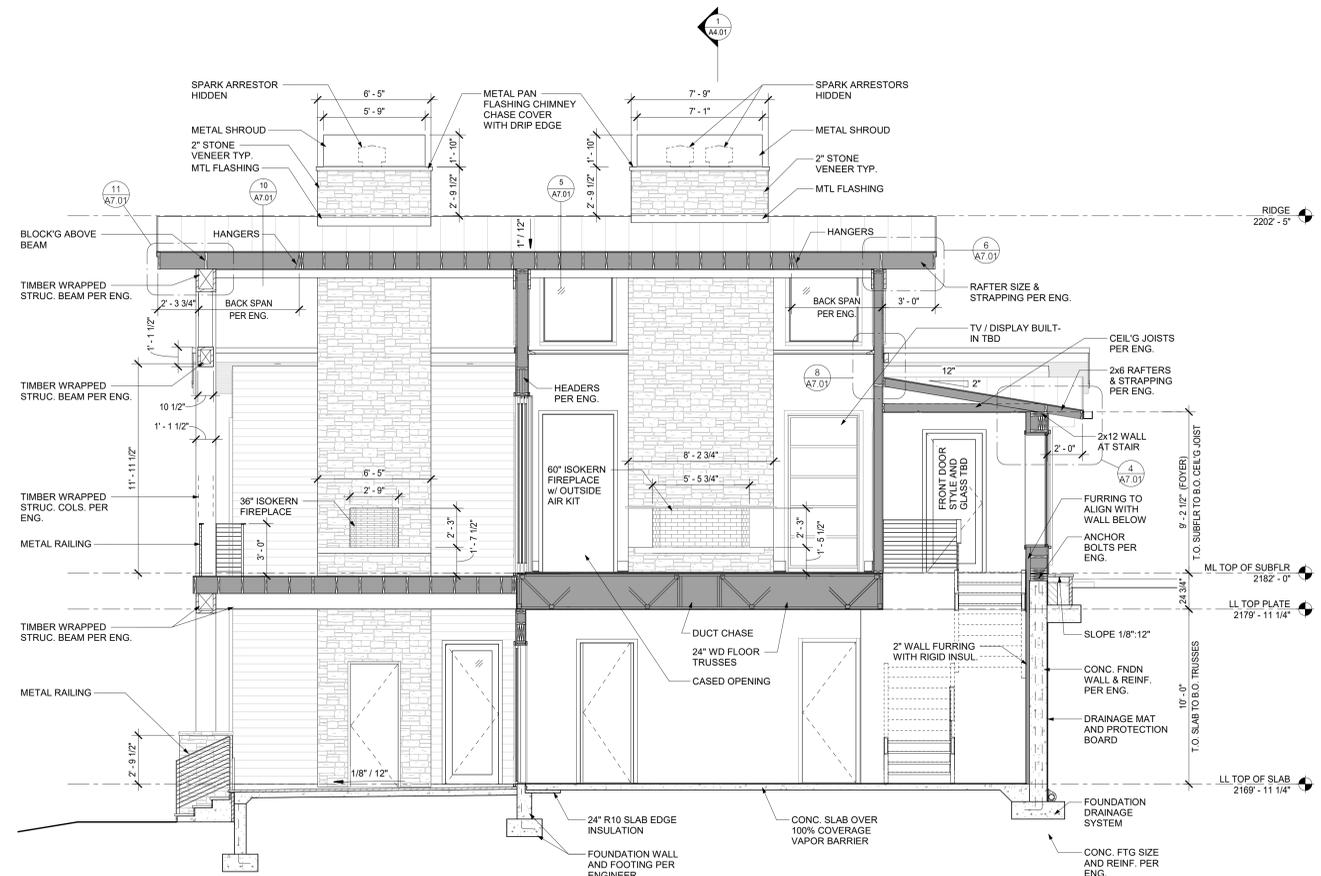
BUILDING SECTIONS

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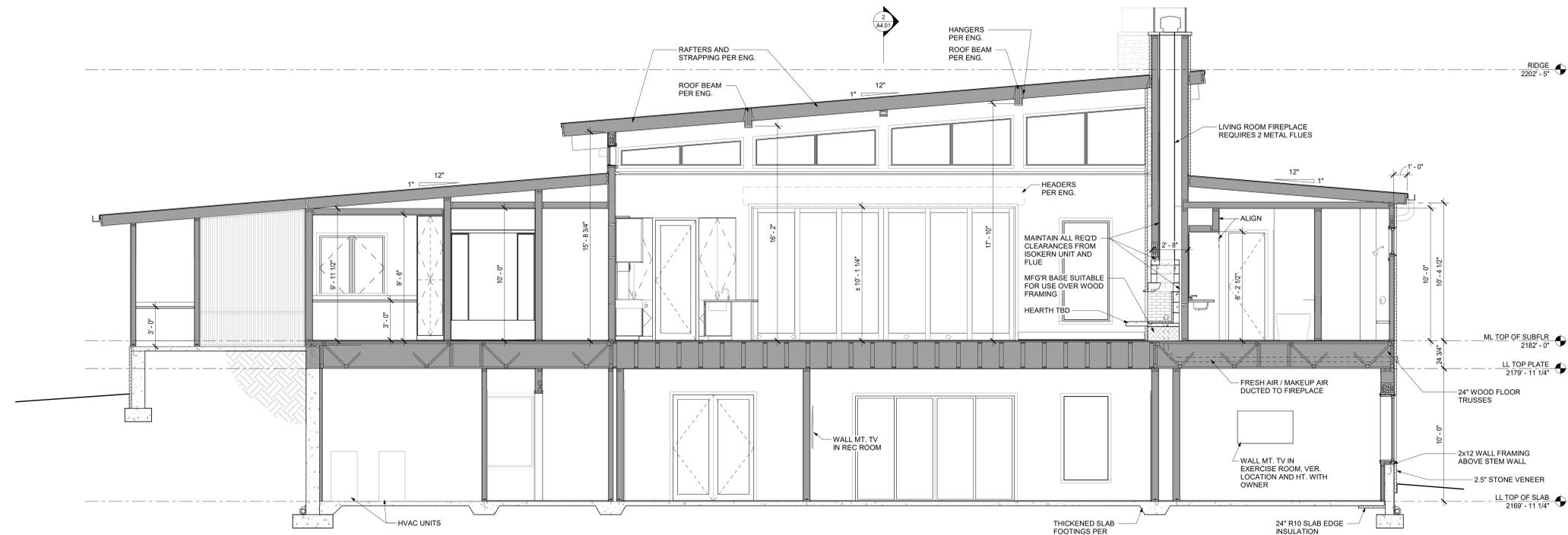
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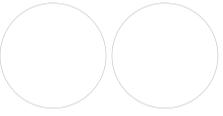
**3 GARAGE SECTION**  
1/4" = 1'-0"



**2 BUILDING SECTION 2**  
1/4" = 1'-0"

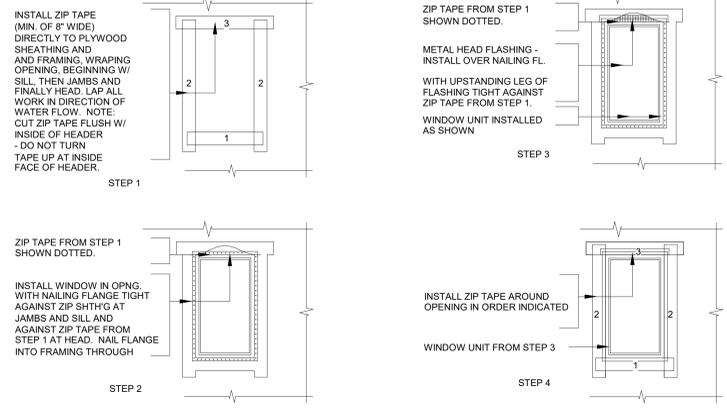


**1 BUILDING SECTION 1**  
1/4" = 1'-0"



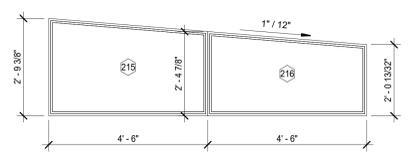
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A2.04 ROOF PLAN
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A3.02 ELEVATIONS
A4.01 BUILDING SECTIONS
A7.01 DETAILS
A7.02 DETAILS
A8.01 SCHEDULES / WDW DIAGRAMS
E1.01 LOWER LEVEL ELECTRICAL PLAN
E1.02 MAIN LEVEL ELECTRICAL PLAN

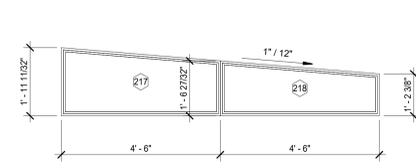


WINDOW INSTALL SEQUENCE

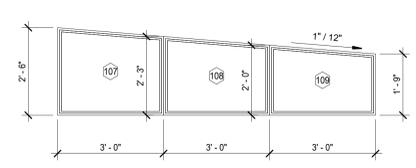
TRAPEZOID WINDOW UNITS:  
(ALL UNITS AS SEEN FROM THE EXTERIOR)



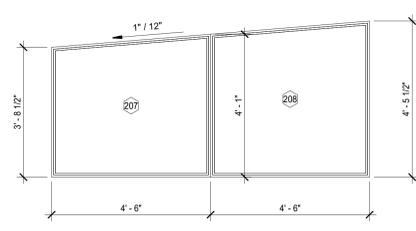
UNITS 215 & 216



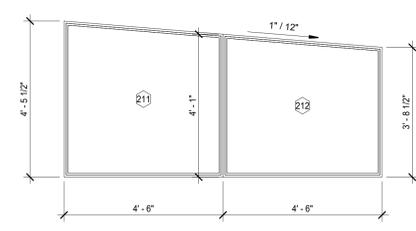
UNITS 217 & 218



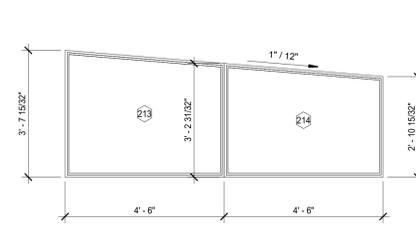
UNITS 107, 108 & 109



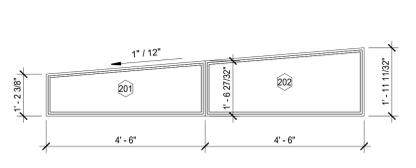
UNITS 207 & 208



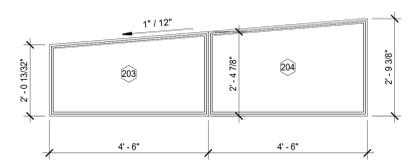
UNITS 211 & 212



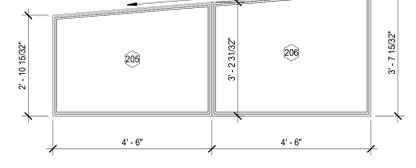
UNITS 213 & 214



UNITS 201 & 202



UNITS 203 & 204



UNITS 205 & 206

WINDOW SCHEDULE

NO.	TYPE	NOMINAL UNIT SIZE			HEAD HT. A.F.F.	GLASS TYPE	OPERABLE	HEAD	JAMB	SILL	COMMENTS
		WIDTH	HEIGHT	HEAD HT.							
001	CAS	3'-0"	5'-0"	8'-0"	8'-0"	INSUL-LOW-E	Y				
002	CAS	3'-0"	5'-6"	8'-0"	8'-0"	INSUL-LOW-E	Y				
003	FIXED CAS.	4'-0"	5'-6"	8'-0"	8'-0"	INSUL-LOW-E	N				
004	CAS	3'-0"	5'-6"	8'-0"	8'-0"	INSUL-LOW-E	Y				
005	FIXED CAS.	3'-6"	6'-6"	8'-0"	8'-0"	INSUL-LOW-E	N				
006	CAS	3'-0"	5'-6"	8'-0"	8'-0"	INSUL-LOW-E	Y				
007	FIXED CAS.	4'-0"	5'-6"	8'-0"	8'-0"	INSUL-LOW-E	N				
008	CAS	3'-0"	5'-6"	8'-0"	8'-0"	INSUL-LOW-E	Y				
101	FIXED CAS.	3'-6"	6'-6"	8'-0"	8'-0"	INSUL/TEMPERED	N				
102	FIXED CAS.	3'-6"	6'-6"	8'-0"	8'-0"	INSUL/TEMPERED	N				
103	FIXED CAS.	3'-6"	6'-6"	8'-0"	8'-0"	INSUL/TEMPERED	N				
104	FIXED CAS.	3'-6"	6'-6"	8'-0"	8'-0"	INSUL/TEMPERED	N				
105	FIXED CAS.	3'-6"	6'-6"	8'-0"	8'-0"	INSUL/TEMPERED	N				
106	FIXED CAS.	3'-6"	6'-6"	8'-0"	8'-0"	INSUL-LOW-E	N				SEE DIAGRAM
107	TRAPEZOID	3'-0"	2'-3"	10'-3"	10'-3"	INSUL-LOW-E	N				SEE DIAGRAM
108	TRAPEZOID	3'-0"	2'-0"	10'-0"	10'-0"	INSUL-LOW-E	N				SEE DIAGRAM
109	TRAPEZOID	3'-0"	1'-9"	9'-9"	9'-9"	INSUL-LOW-E	N				SEE DIAGRAM
110	AWN	4'-0"	2'-0"	8'-6"	8'-6"	INSUL/TEMPERED	Y				
111	CAS	3'-0"	5'-0"	8'-6"	8'-6"	INSUL-LOW-E	Y				
112	CAS	3'-0"	7'-0"	8'-6"	8'-6"	INSUL-LOW-E	Y				EGRESS
113	FIXED CAS.	4'-0"	7'-0"	8'-6"	8'-6"	INSUL-LOW-E	N				
114	CAS	3'-0"	7'-0"	8'-6"	8'-6"	INSUL-LOW-E	Y				
115	FIXED D.S.	3'-6"	7'-6"	9'-0"	9'-0"	INSUL-LOW-E	N				
116	CAS	3'-0"	7'-0"	8'-6"	8'-6"	INSUL-LOW-E	Y				
117	FIXED CAS.	4'-0"	7'-0"	8'-6"	8'-6"	INSUL-LOW-E	N				
118	CAS	3'-0"	7'-0"	8'-6"	8'-6"	INSUL-LOW-E	Y				EGRESS
119	CAS	2'-6"	4'-6"	8'-0"	8'-0"	INSUL-LOW-E	Y				
120	CAS	2'-6"	5'-0"	8'-0"	8'-0"	INSUL-LOW-E	Y				
121	CAS	2'-6"	5'-0"	8'-0"	8'-0"	INSUL-LOW-E	Y				
122	CAS	2'-6"	4'-6"	7'-6"	7'-6"	INSUL-LOW-E	Y				
201	TRAPEZOID	4'-6"	1'-2 3/8"	14'-4 3/8"	14'-4 3/8"	INSUL-LOW-E	N				SEE DIAGRAM
202	TRAPEZOID	4'-6"	1'-6 27/32"	14'-8 27/32"	14'-8 27/32"	INSUL-LOW-E	N				SEE DIAGRAM
203	TRAPEZOID	4'-6"	2'-0 13/32"	15'-2 13/32"	15'-2 13/32"	INSUL-LOW-E	N				SEE DIAGRAM
204	TRAPEZOID	4'-6"	2'-4 7/8"	15'-6 7/8"	15'-6 7/8"	INSUL-LOW-E	N				SEE DIAGRAM
205	TRAPEZOID	4'-6"	2'-10 15/32"	16'-0 15/32"	16'-0 15/32"	INSUL-LOW-E	N				SEE DIAGRAM
206	TRAPEZOID	4'-6"	3'-2 31/32"	16'-4 31/32"	16'-4 31/32"	INSUL-LOW-E	N				SEE DIAGRAM
207	TRAPEZOID	4'-6"	3'-8 1/2"	16'-10 1/2"	16'-10 1/2"	INSUL-LOW-E	N				SEE DIAGRAM
208	TRAPEZOID	4'-6"	4'-1"	17'-3"	17'-3"	INSUL-LOW-E	N				SEE DIAGRAM
209	FIXED D.S.	4'-0"	4'-0"	17'-3"	17'-3"	INSUL-LOW-E	N				
210	FIXED D.S.	4'-0"	4'-6"	17'-8"	17'-8"	INSUL-LOW-E	N				
211	TRAPEZOID	4'-6"	4'-1"	17'-3"	17'-3"	INSUL-LOW-E	N				SEE DIAGRAM
212	TRAPEZOID	4'-6"	3'-8 1/2"	16'-10 1/2"	16'-10 1/2"	INSUL-LOW-E	N				SEE DIAGRAM
213	TRAPEZOID	4'-6"	3'-2 31/32"	16'-4 31/32"	16'-4 31/32"	INSUL-LOW-E	N				SEE DIAGRAM
214	TRAPEZOID	4'-6"	2'-10 15/32"	16'-0 15/32"	16'-0 15/32"	INSUL-LOW-E	N				SEE DIAGRAM
215	TRAPEZOID	4'-6"	2'-4 7/8"	15'-6 7/8"	15'-6 7/8"	INSUL-LOW-E	N				SEE DIAGRAM
216	TRAPEZOID	4'-6"	2'-0 13/32"	15'-2 13/32"	15'-2 13/32"	INSUL-LOW-E	N				SEE DIAGRAM
217	TRAPEZOID	4'-6"	1'-6 27/32"	14'-8 27/32"	14'-8 27/32"	INSUL-LOW-E	N				SEE DIAGRAM
218	TRAPEZOID	4'-6"	1'-2 3/8"	14'-4 3/8"	14'-4 3/8"	INSUL-LOW-E	N				SEE DIAGRAM
219	FIXED D.S.	4'-0"	1'-6"	14'-8"	14'-8"	INSUL-LOW-E	N				
220	FIXED D.S.	4'-0"	1'-6"	14'-8"	14'-8"	INSUL-LOW-E	N				
221	FIXED D.S.	4'-0"	1'-6"	14'-8"	14'-8"	INSUL-LOW-E	N				
222	FIXED D.S.	4'-0"	1'-6"	14'-8"	14'-8"	INSUL-LOW-E	N				

DOOR AND FRAME SCHEDULE

NO.	TYPE	DOOR			FRAME				COMMENTS	
		WD	HGT	THK	MATERIAL	FINISH	GLAZING	MATERIAL		FINISH
001.1	D	12'-0"	8'-0"	2 1/4"	WOOD/CLAD	TBD	FULL	WOOD/CLAD	TBD	4 PANEL SLIDING PATIO DOOR
002.1	H	6'-0"	8'-0"	1 3/4"	WOOD/CLAD	TBD	FULL	WOOD/CLAD	TBD	EXTERIOR FRENCH DOOR
002.2	J	4'-0"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	INTERIOR DOUBLE DOOR
002.3	E	2'-8"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	TYPICAL INTERIOR DOOR
002.4	E	2'-8"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	TYPICAL INTERIOR DOOR
003.1	E	2'-8"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	TYPICAL INTERIOR DOOR
004.1	E	2'-8"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	TYPICAL INTERIOR DOOR
005.1	E	2'-8"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	TYPICAL INTERIOR DOOR
005.2	B	3'-0"	8'-0"	1 3/4"	WOOD/CLAD	TBD	FULL	WOOD/CLAD	TBD	SINGLE EXTERIOR GLASS DOOR
006.1	E	2'-8"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	TYPICAL INTERIOR DOOR
007.1	E	3'-0"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	WEATHERSTRIPPING
008.1	E	2'-8"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	WEATHERSTRIPPING
009.1	E	2'-8"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	TYPICAL INTERIOR DOOR
009.2	B	3'-0"	8'-0"	1 3/4"	WOOD/CLAD	TBD	FULL	WOOD/CLAD	TBD	SINGLE EXTERIOR GLASS DOOR
010.1	F	2'-8"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	INTERIOR POCKET DOOR
011.1	E	2'-8"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	TYPICAL INTERIOR DOOR
011.2	E	2'-4"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	TYPICAL INTERIOR DOOR
011.3	E	2'-6"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	TYPICAL INTERIOR DOOR
012.1	E	3'-0"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	TYPICAL INTERIOR DOOR
013.1	E	3'-0"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	TYPICAL INTERIOR DOOR
014.1	E	3'-0"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	TYPICAL INTERIOR DOOR
015.1	M	2'-8"	7'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	EXTERIOR CLOSET DOOR
101.1	A	3'-2"	8'-0"	1 3/4"	WOOD	STAINED	TBD	WOOD	STAINED	STAINED FRONT DOOR
102.1	C	19'-7 3/8"	10'-2 3/8"	2 1/4"	WOOD/CLAD	TBD	FULL	WOOD/CLAD	TBD	MULTIPANEL STACKING SLIDER
102.2	B	3'-0"	8'-0"	1 3/4"	WOOD/CLAD	TBD	FULL	WOOD/CLAD	TBD	SINGLE EXTERIOR GLASS DOOR
103.1	B	3'-0"	8'-0"	1 3/4"	WOOD/CLAD	TBD	FULL	WOOD/CLAD	TBD	SINGLE EXTERIOR GLASS DOOR
104.1	E	2'-6"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	TYPICAL INTERIOR DOOR
105.1	E	3'-0"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	TYPICAL INTERIOR DOOR
106.1	E	2'-6"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	TYPICAL INTERIOR DOOR
107.1	E	2'-8"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	TYPICAL INTERIOR DOOR
108.1	E	2'-8"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	TYPICAL INTERIOR DOOR
109.1	G	5'-0"	8'-0"	1 3/4"	WOOD	STAINED	FULL	WOOD	PAINT	INTERIOR GLASS FRENCH DOOR
110.1	E	2'-6"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	TYPICAL INTERIOR DOOR
111.1	E	2'-8"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	TYPICAL INTERIOR DOOR
112.1	E	2'-8"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	TYPICAL INTERIOR DOOR
112.2	E	2'-6"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	TYPICAL INTERIOR DOOR
113.1	F	2'-8"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	INTERIOR POCKET DOOR
114.1	K	10'-0"	8'-0"	1 1/2"	WOOD	STAINED	NA	WOOD	PAINT	WOOD GARAGE DOOR
114.2	K	10'-0"	8'-0"	1 1/2"	WOOD	STAINED	NA	WOOD	PAINT	WOOD GARAGE DOOR
114.3	B	3'-0"	8'-0"	1 3/4"	WOOD/CLAD	TBD	FULL	WOOD/CLAD	TBD	SINGLE EXTERIOR GLASS DOOR
115.1	L	4'-0"	8'-0"	1 1/2"	WOOD	STAINED	NA	WOOD	PAINT	WOOD BARN DOOR, WITH SLIDING TRACK HARDWARE

PRICING SET - NOT FOR CONSTRUCTION

NEW CONSTRUCTION FOR:  
**DAVIS RESIDENCE**  
24 BUSBEE ROAD  
BILTMORE FOREST, NC 28803

PROJECT NO. 20011

DRAWN BY: HD CHECKED BY: HD

REVISION SCHEDULE

REV. NO.	REV. DATE
1	1/11/2021

PRICING SET  
DATE: 1/8/2021

SCHEDULES / WDW DIAGRAMS

A8.01

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